

DESIGN DEVELOPMENT DOCUMENTS IMPROVEMENTS TO EXISTING C-STORE

1856 PIEDMONT ROAD, N.E.

ATLANTA, FULTON COUNTY, GEORGIA. 30024

FOR

1856 PIEDMONT LLC

OWNER & PROPRIETOR: MR. IMTIYAZ HAJIYANI

CONTACT MR. AL SHAHEED: PHONE: 404-452-0679



ARCHITECTS DESIGN COLLABORATIVE
ARCHITECTS - URBAN PLANNERS - CONSTRUCTION MANAGERS
LAWRENCEVILLE, GEORGIA. 30044-4662

DESIGN DEVELOPMENT DOCUMENTS - NOT ISSUED FOR CONSTRUCTION

MATERIALS & SYMBOLS	APPLICABLE PROJECT DATA	LIST OF DRAWINGS	VICINITY/LOCATION MAP
	<p>PROJECT CODE DATA</p> <p>OCCUPANCY CLASS - NEW MERCANTILE CONSTRUCTION TYPE - TYPE IIB UNPROTECTED TOTAL FLOOR AREA - 2140 SF UNSPRINKLERED W/ FIRE ALARM BUILDING HEIGHT - 26'-0" MAX OCCUPANCY LOAD: REFER TO LIFE-SAFETY PLAN</p> <p>APPLICABLE CODES</p> <p>INTERNATIONAL BUILDING CODE-2012 W/GA-AMENDMENTS NFPA NATIONAL ELECTRICAL CODE (NEC) - 2014 EDITION INTERNATIONAL FUEL GAS CODE (IFGC)- 2012 W/GA AMENDMNTS INTERNATIONAL MECHANICAL CODE (IMC) - 2012 EDITION INTERNATIONAL PLUMBING CODE (IPC) - 2012 EDITION INTERNATIONAL ENERGY CONSERVATION CODE (IECC)-2009 INTERNATIONAL FIRE CODE (IFC)- 2012 W/GA -AMMENDMENTS NFPA 101 LIFE SAFETY CODE (LSC) - 2012 EDITION FIRE ALARM SYSTEM DESIGN PER NFPA 72, 2012 EDITION U.S. DEPT OF JUSTICE A.D.A. STANDARDS FOR ACCESSIBLE DESIGN (ADA) -2010 EDITION</p> <p>GENERAL PROJECT DATA</p> <p>TOTAL GROSS BUILDING AREA - 2140 SF ON-SITE PARKING SPACES - REFER TO SHEET C-1 CIVIL D-D SITE PLAN</p>	<p>ARCHITECTURAL</p> <p>A-0 COVER SHEET, ABBREV.LEGEND,SYMBOLS & INDEX OF DWGS C-1 DESIGN DEVELOPMENT CIVIL SITE PLAN A-1 ARCHITECTURAL SITE PLAN (REFER TO CIVIL SUBMITAL) A-2 ARCHITECTURAL FLOOR PLAN A-3 ARCHITECTURAL ROOF AND ROOF FRAMING PLAN A-4 TYPICAL EXTERIOR BUILDING ELEVATIONS</p> <p>STRUCTURAL</p> <p>MECH/ELECT/PLUMB</p>	
CONSULTING ENGINEERS CIVIL/STRUCTURAL	CONSULTING ARCHITECTS & CONSTRUCTION MANAGERS	CONSULTING ENGINEERS - STRUCT/MECH/ELECT/PLUMB/FP	
<p>TONY L. DAWSON, P.E. 1569 CHERRY HILL ROAD CONYERS, GEORGIA 30094 CONTACT: TONY DAWSON, P.E. CONTACT: EMAIL-TONYD@DAWSONEC.COM - PHONE: (678)-485-9610</p>	<p>ARCHITECTS DESIGN COLLABORATIVE ARCHITECTS - URBAN PLANNERS - CONSTRUCTION MANAGERS LAWRENCEVILLE, GEORGIA. 30044 CONTACTS: AIAH EMANUEL PESSIMA, AIA, NCARB, RIBA CONTACTS: EMAIL-ARCHDESIGNCOLL2GMAIL.COM - PHONE: 678-656-9630</p>	<p>SUNG CHUNG CONSULTING ENGINEERS 4500 OLD PEACHTREE ROAD, NW., SUITE 105 SUWANEE, GEORGIA 30024 CONTACT: MR. SUNG CHUNG, P.E. CONTACT: EMAIL- INFO@N-GINEERS.COM- PHONE: (678)-878-3389</p>	

NO.	DATE	REVISIONS

DATE	BY	DESCRIPTION

DRAWING TITLE
COVER SHEET, INDEX OF DRAWINGS & LEGEND
PROJECT TITLE
IMPROVEMENTS TO EXISTING C-STORE & SITE
1856 PIEDMONT ROAD, ATLANTA, GEORGIA
ATLANTA, FULTON COUNTY, GEORGIA. 30024
FOR
1856 PIEDMONT, LLC- OWNER: MR. IMTIYAZ HAJIYANI
PARCEL: 10067 - LANDLOT 17, 6TH DISTRICT, FULTON COUNTY, GA.

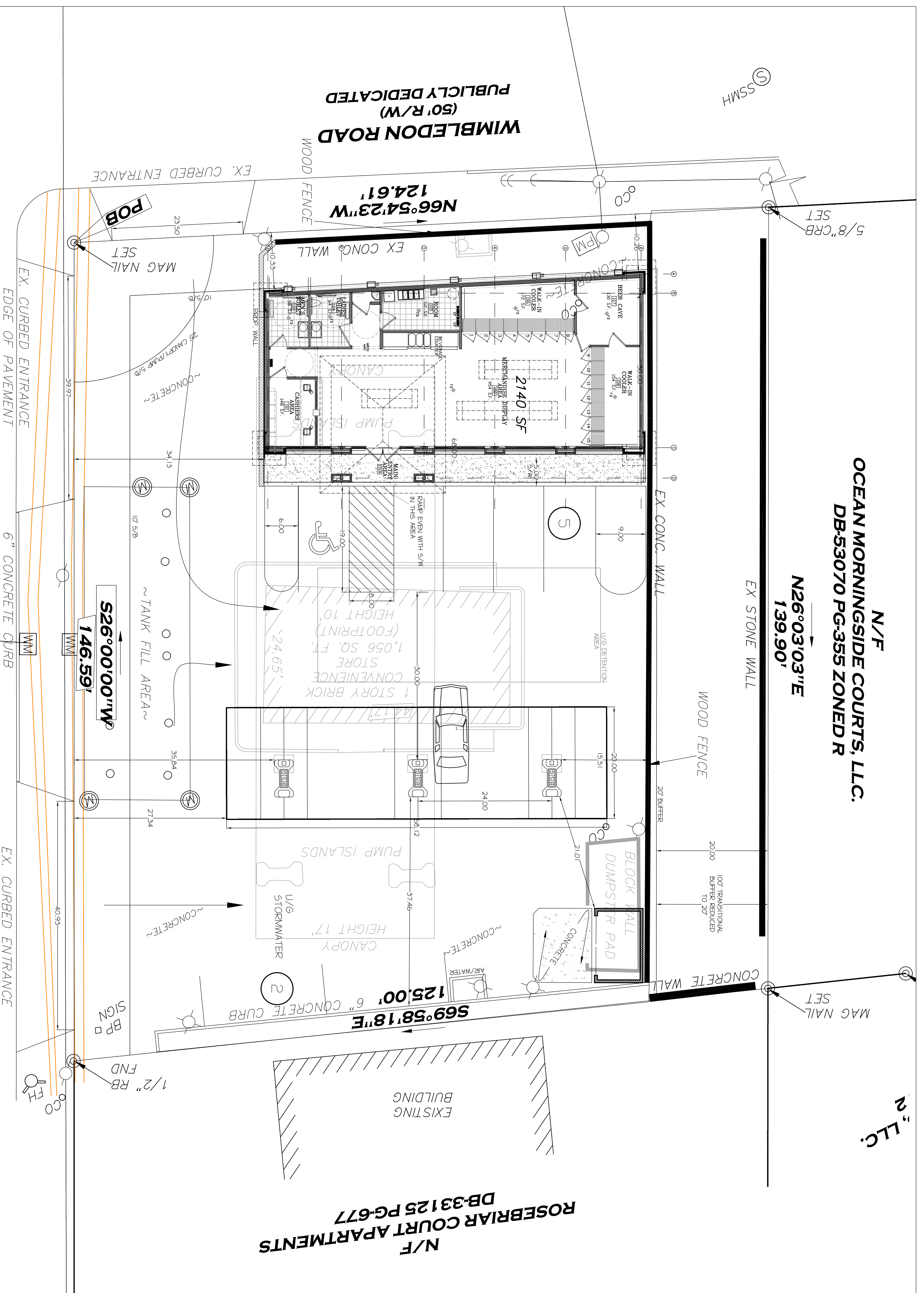
DRAWING NUMBER
A-0

N/F
OCEAN MORNINGSIDE COURTS, LLC.
 DB-53070 PG-355 ZONED R

N26°03'03"E
 139.90'

N³ LLC.

N/F
ROSEBRIAR COURT APARTMENTS
 DB-33125 PG-677



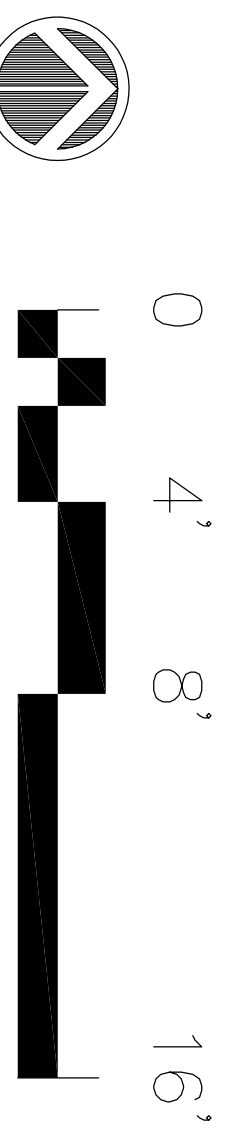
POSSIBLE VARIANCE REQUEST
 1. REDUCE THE 100' TRANSITIONAL BUFFER TO 20'

PIEDMONT ROAD
 (R/W VARIES)
 PUBLICLY DEDICATED

NEW **PIEDMONT ROAD C-STORE**
 ARCHITECTURAL SITE PLAN

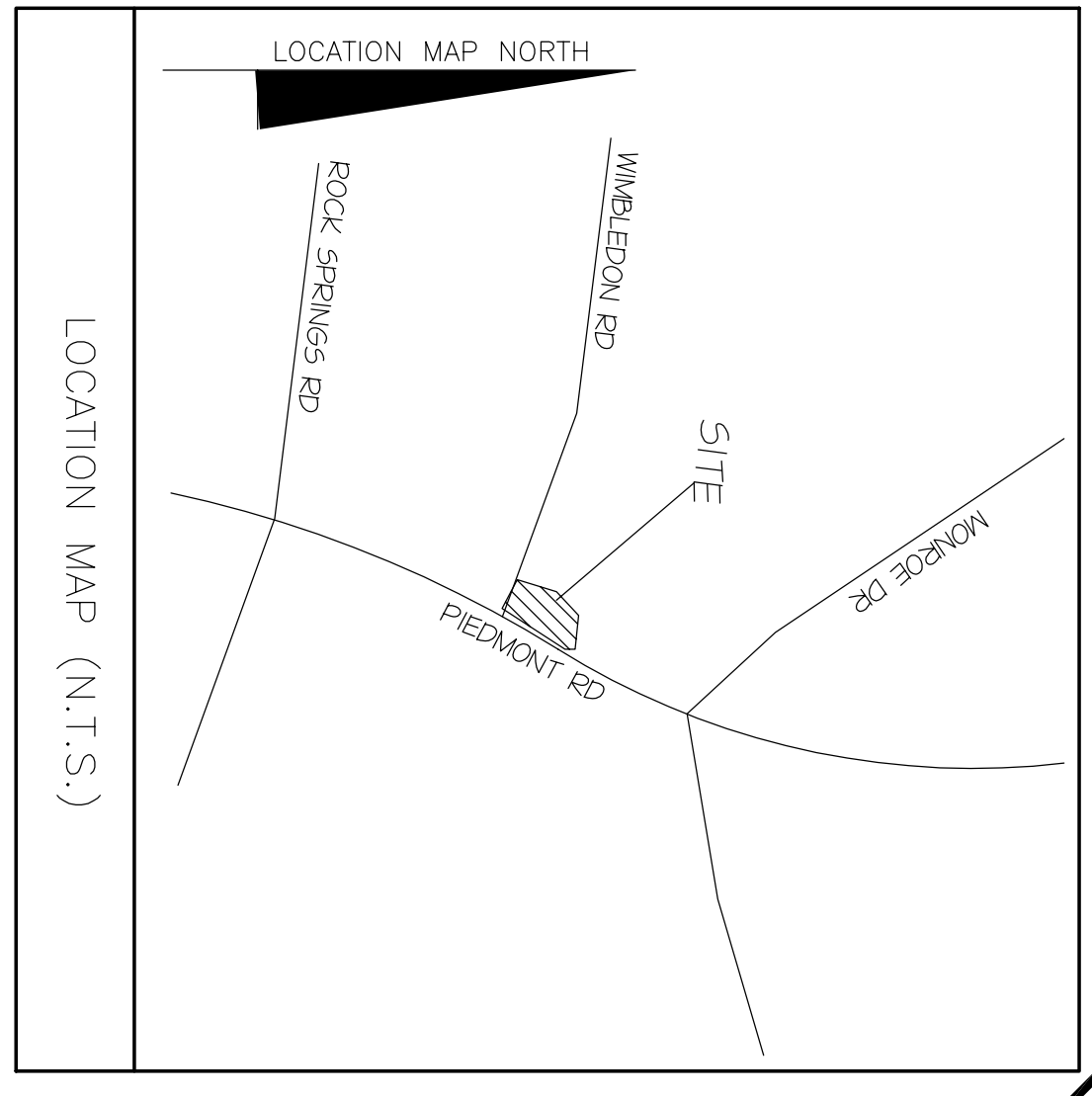
1
 A-0
 1" = 10'-0"

TOTAL FLOOR AREA 2,040 SF



AREA:
 17,817 SQ.FT.
 0.41 ACRES
 ZONED C-2
 BELTLINE OVERLAY

PARKING REQUIREMENT
 1 PARKING SPACE PER 300 SQ.FT. OF GROSS BUILDING SPACE
 2,140 SQ.FT. / 300 SQ.FT. = 7 REQUIRED PARKING SPACES
 REQUIRED 7 PARKING SPACES PROVIDED 7 PARKING SPACES INCLUDING 1 HC



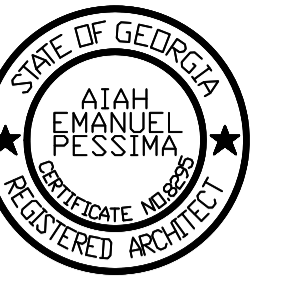
DRAWN BY TLD
 CHECKED BY TLD
 APPROVED:

PRELIMINARY SITE PLAN
 FOR
1856 PIEDMONT
 LOCATED AT
 LL 50 17TH DISTRICT
 1856 PIEDMONT RD
 ATLANTA, GA
 FULTON COUNTY

DATE	NO.	REVISIONS	BY
SCALE: 1" = 10'	JOB NO. 2019MISC	DATE: 1-17-19	

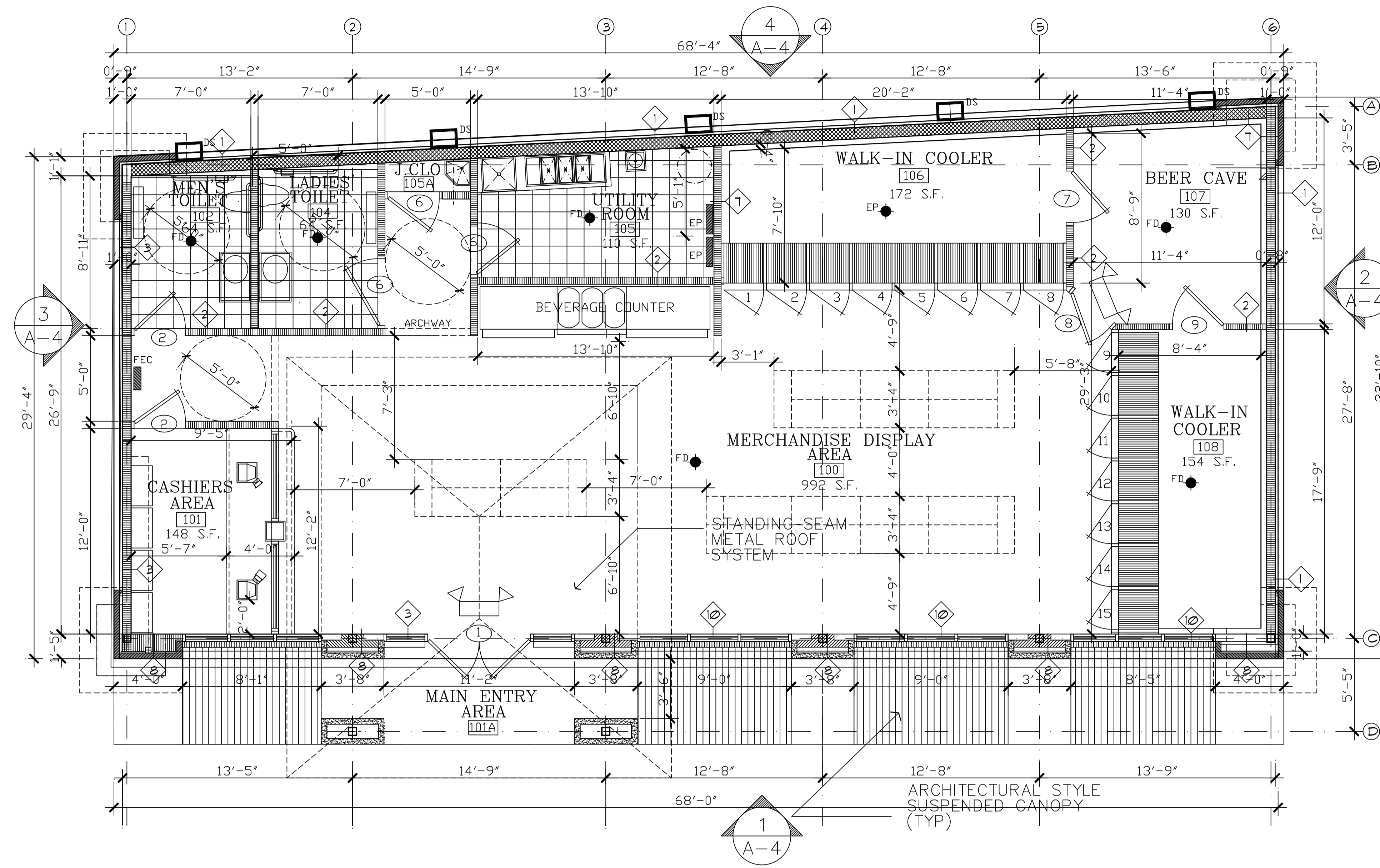
DEC DAWSON ENGINEERING CONSULTANT, LLC
 1569 CHERRY HILL ROAD
 CONYERS, GEORGIA 30094
 678-485-9610 FAX: 678-720-5795
 EMAIL: TONYD@DAWSONEC.COM

A-0



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 ARCHITECTS - URBAN PLANNERS - CONSTRUCTION MANAGERS
 LAWRENCEVILLE, GEORGIA 30044-4662

DESIGN DEVELOPMENT DOCUMENTS - NOT ISSUED FOR CONSTRUCTION



ARCHITECTURAL FLOOR PLAN
NEW PIEDMONT C-STORE
 1/4" = 1'-0" TOTAL FLOOR AREA 2,140 SF

OCCUPANT LOAD PER 2012 NFPA 101
LIFE SAFETY CODE

ROOM	ROOM SQFT	FACTOR	TOTAL ROOM OCCUPANCY
DISPLAY AREA	992	30	33
CASHIER	102	100	1
RESTROOMS-2	128	100	2
UTILITY	110	300	1
COOLER/B.CAVE	456	300	2
TOTAL OCCUPANT LOAD = 39 OCCUPANTS			

TYPICAL PLAN LEGEND

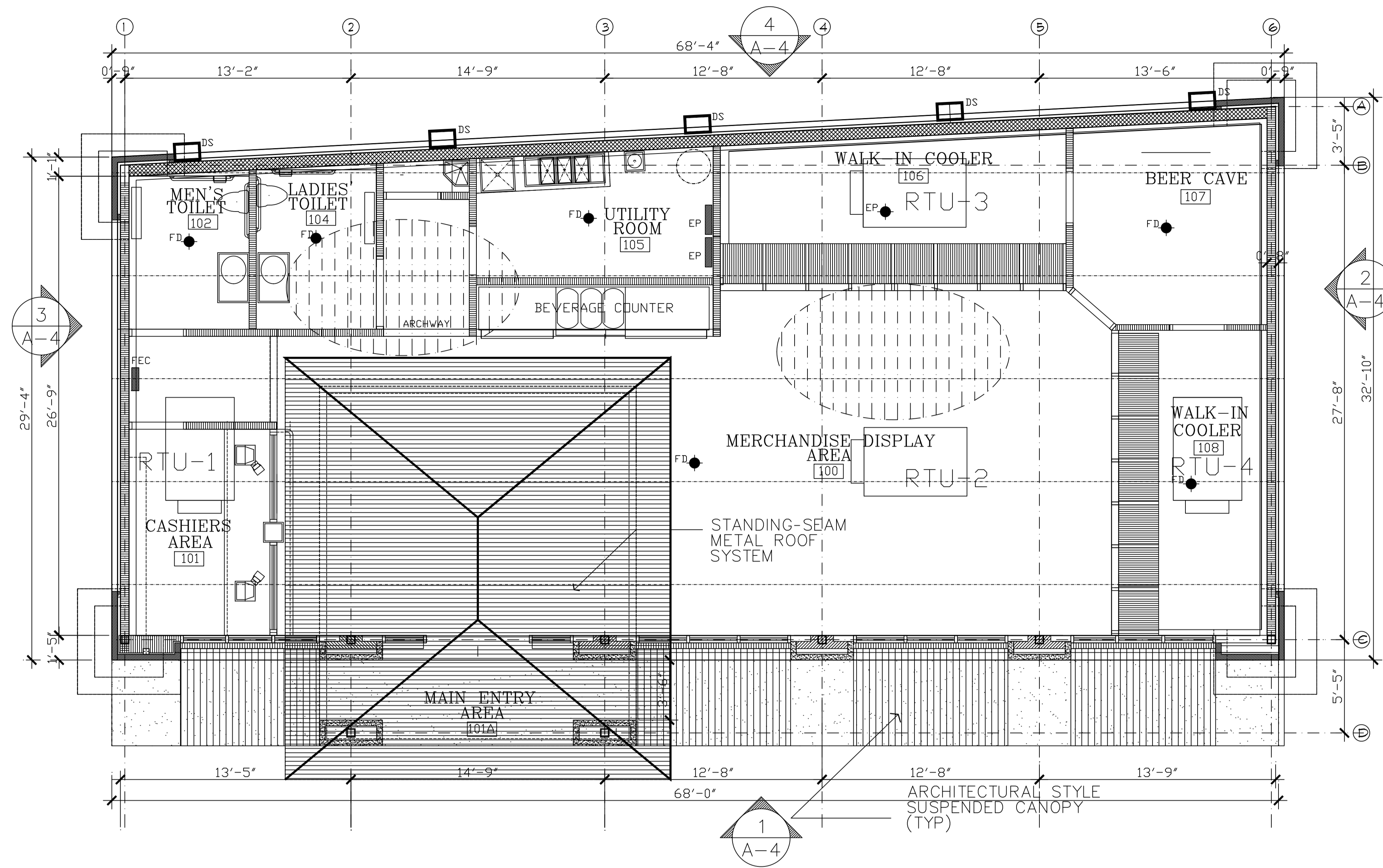
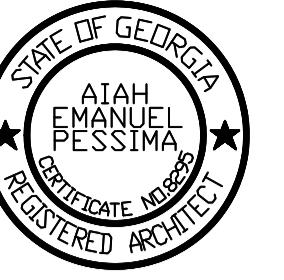
- NEW 3 5/8" NON-RATED 20 GA MTL STUD WALLS W/5/8" GYP.BD FINISH ON BOTH SIDES & 3" BATT INSULATION (REFER TO WALL DETAIL 1/A-8) USE GREENBOARD AT RESTROOM WALLS TO 4'-0" AFF
- NEW 6" 20 GA 1-HOUR RATED MTL STUD WALLS W/5/8" TYPE 'X' GYP.BD FINISH ON BOTH SIDES AND R13 BATT INSULATION TO UNDERSIDE OF STRUCTURAL METAL DECK SYSTEM. ALLOW FOR 1" DEFLECTION AT TOP OF STUD WALL. (REFER TO WALL DETAIL 2/A-8). USE GREENBOARD TO 4'-0" AFF AT RESTROOM WALLS ONLY.
- NEW 8" CMU BEARING WALL W/2" AIR-SPACE & 4" EXTERIOR BRICK FINISH W/ EXT EIFS FINISH SYSTEM ABOVE. APPLY 5/8" GYP BOARD OVER 2" FURRING AT RETAIL SPACE SUITE 'A' (REFER TO WALL DETAIL 3/A-8)
- NEW 8" CMU BEARING WALL W/2" AIR-SPACE & 4" EXTERIOR BRICK FINISH W/EXT EIFS FINISH SYSTEM ABOVE PER TYPICAL WALL DETAILS. (REFER TO WALL DETAIL 4/A-8)
- STONE VENEER ON METAL LATH, 5/8" DENSGLASS 8" & 3-5/8" 25 GAUGE X 33 KSI METAL L120 STUDS @ 16" O.C. W/5/8" GYP WALL BD INTERIOR & R15 INSULATION.
- EXIT LIGHT WITH BATTERY BACK-UP
- FEC FIRE-EXTINGUISHER & CABINET

GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL BID AND CONSTRUCT THIS FACILITY PER THE MOST CURRENT APPLICABLE BUILDING & RELATED MUNICIPAL CODES. THE CONTRACTOR SHALL ASCERTAIN THAT ALL CONSTRUCTION MEETS CODE. FAILURE TO MEET THESE REQUIREMENTS SHALL RELIEVE THE OWNER, ARCHITECT AND ENGINEERING CONSULTANTS FROM ANY LIABILITY. THE ARCHITECT OF RECORD SHALL BE NOTIFIED OF ANY DISCREPANCIES IN THESE DOCUMENTS AND FIELD CONDITIONS. FAILURE TO DO SO SHALL NULLIFY ANY CHANGE ORDER REQUEST SUBMITTED BY THE CONTRACTOR.
- METAL STUD DIMENSIONS SHOWN ARE FROM STUD TO STUD UNLESS OTHERWISE NOTED. CONTRACTOR SHALL PROVIDE BLOCKING AT ALL PLUMBING WALLS. REFER TO PLUMBING DRAWINGS FOR ALL PLUMBING INSTALLATION SPECIFICATIONS AND REQUIREMENTS.
- CONTRACTOR SHALL VERIFY PAINT COLORS AND FINISHES WITH THE OWNER PRIOR TO ACTUAL INSTALLATION.
- FIRE EXTINGUISHERS INSTALLED SHALL BE MODEL #2A10BC WITH ABC RATINGS AS APPLICABLE. THE QUANTITY AND LOCATIONS SHALL BE PER PLANS AND AS REQUIRED BY THE FIRE MARSHAL.
- CONTRACTOR SHALL FIELD VERIFY AND COORDINATE ALL DIMENSIONS AND SUBMIT TO THE ARCHITECT OR ENGINEER-OF-RECORD SHOP DRAWINGS FOR ALL MAJOR ASPECTS OF WORK FOR APPROVAL PRIOR TO ACTUAL INSTALLATION OF SUCH ITEMS. WORK PERFORMED BY THE GC OR SUBS WITHOUT PRIOR APPROVED SHOP DRAWINGS SHALL BE AT THE CONTRACTOR'S RISK AND NO CHANGE ORDERS SHALL BE ACCEPTED BY THE OWNER FOR WORK PERFORMED WITHOUT APPROVED SHOP DRAWINGS BY THE ARCHITECT OR ENGINEER-OF-RECORD.
- COOLER WALLS SHALL BE INSTALLED 2" OFF OF FINISH WALLS. CONDENSATION PIPES SHALL BE RUN TO FLOOR DRAINS AS REQUIRED. REFER TO PLUMBING DRAWINGS

NO.	DATE	REVISIONS

DRAWING TITLE
ARCHITECTURAL FLOOR PLAN - PIEDMONT RD C-STORE
 PROJECT TITLE
IMPROVEMENTS TO AN EXISTING C-STORE & SITE
 186 PIEDMONT ROAD, NE, ATLANTA, GEORGIA, 30324
 MR. IMITYAZ HAUTANI-OWNER & PROPRIATOR



ROOF & ROOF FRAMING PLAN
NEW PIEMONT ROAD CONVENIENCE
1/4" = 1'-0" TOTAL FLOOR AREA 2,140 SF

0 4' 8' 16'

TYPICAL PLAN LEGEND

- NEW 3 5/8" NON-RATED 20 GA MTL STUD WALLS W/5/8" GYP.BD FINISH ON BOTH SIDES & 3" BATT INSULATION (REFER TO WALL DETAIL 1/A-8) USE GREENBOARD AT RESTROOM WALLS TO 4'-0" AFF
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- EXIT LIGHT WITH BATTERY BACK-UP
- FIRE-EXTINGUISHER & CABINET

GENERAL CONSTRUCTION NOTES

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3. CONTRACTOR SHALL VERIFY PAINT COLORS AND FINISHES WITH THE OWNER PRIOR TO ACTUAL INSTALLATION.
4. FIRE EXTINGUISHERS INSTALLED SHALL BE MODEL #2A10BC WITH ABC RATINGS AS APPLICABLE. THE QUANTITY AND LOCATIONS SHALL BE PER PLANS AND AS REQUIRED BY THE FIRE MARSHAL.
5. CONTRACTOR SHALL FIELD VERIFY AND COORDINATE ALL DIMENSIONS AND SUBMIT TO THE ARCHITECT OR ENGINEER-OF-RECORD SHOP DRAWINGS FOR ALL MAJOR ASPECTS OF WORK FOR APPROVAL PRIOR TO ACTUAL INSTALLATION OF SUCH ITEMS. WORK PERFORMED BY THE GC OR SUBS WITHOUT PRIOR APPROVED SHOP DRAWINGS SHALL BE AT THE CONTRACTOR'S RISK AND NO CHANGE ORDERS SHALL BE ACCEPTED BY THE OWNER FOR WORK PERFORMED WITHOUT APPROVED SHOP DRAWINGS BY THE ARCHITECT OR ENGINEER-OF-RECORD.
6. COOLER WALLS SHALL BE INSTALLED 2" OFF OF FINISH WALLS. CONDENSATION PIPES SHALL BE RUN TO FLOOR DRAINS AS REQUIRED. REFER TO PLUMBING DRAWINGS

MISCELLANEOUS ROOF CONSTRUCTION NOTES & LEGEND

SYMBOL	DESCRIPTION

DATE	REVISIONS	DESCRIPTION

DRAWN BY: J.P. CHECKED BY: A.P. DATE: 01/09/19 SCALE: 1/4" = 1'-0"

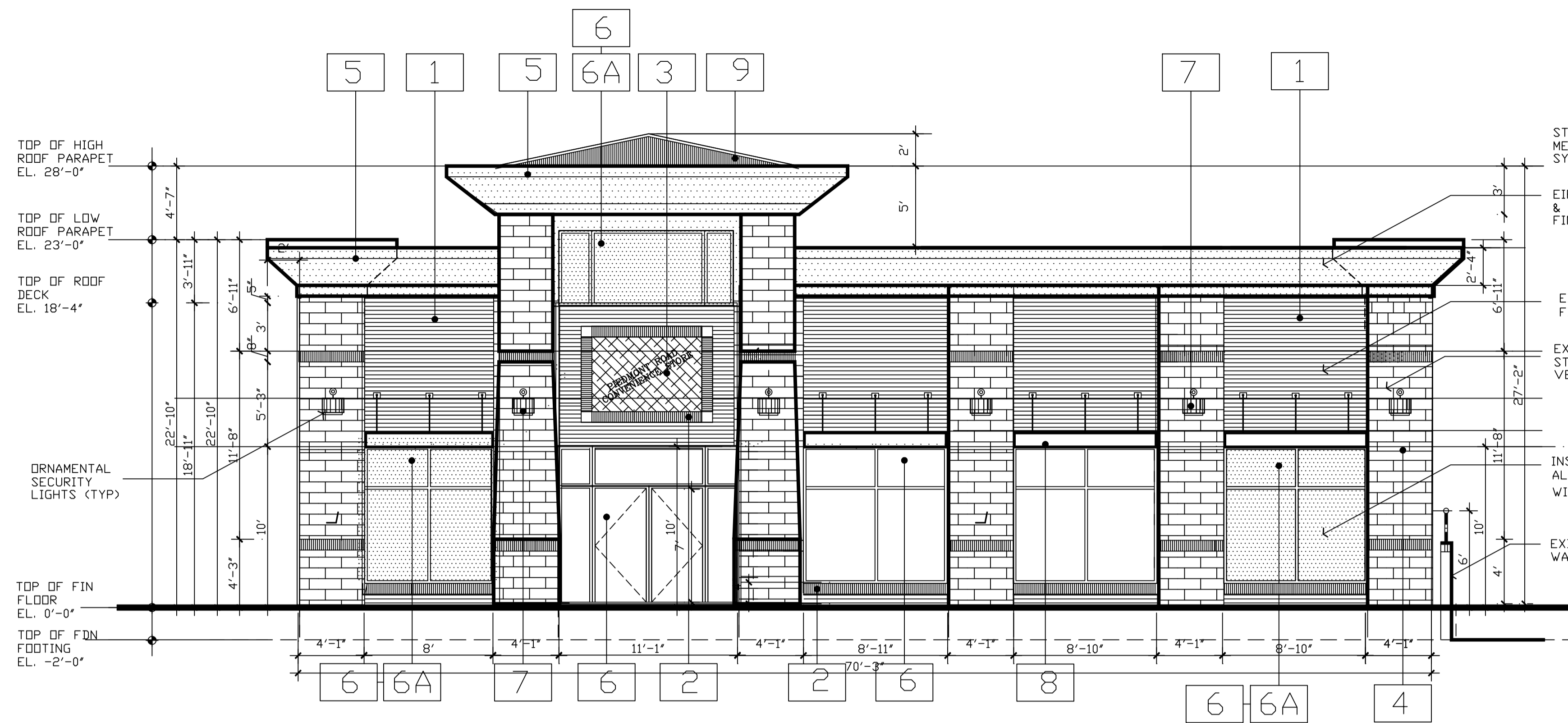
DRAWING TITLE: ROOF & FRAMING PLAN - PIEMONT ROAD C-STORE PROJECT TITLE: IMPROVEMENTS TO AN EXISTING C-STORE & SITE 186 PIEMONT ROAD, NE, ATLANTA, GEORGIA, 30324 MR. IMITIAZ HAITANI-OWNER & PROPRIETOR

DRAWING NUMBER: A-3



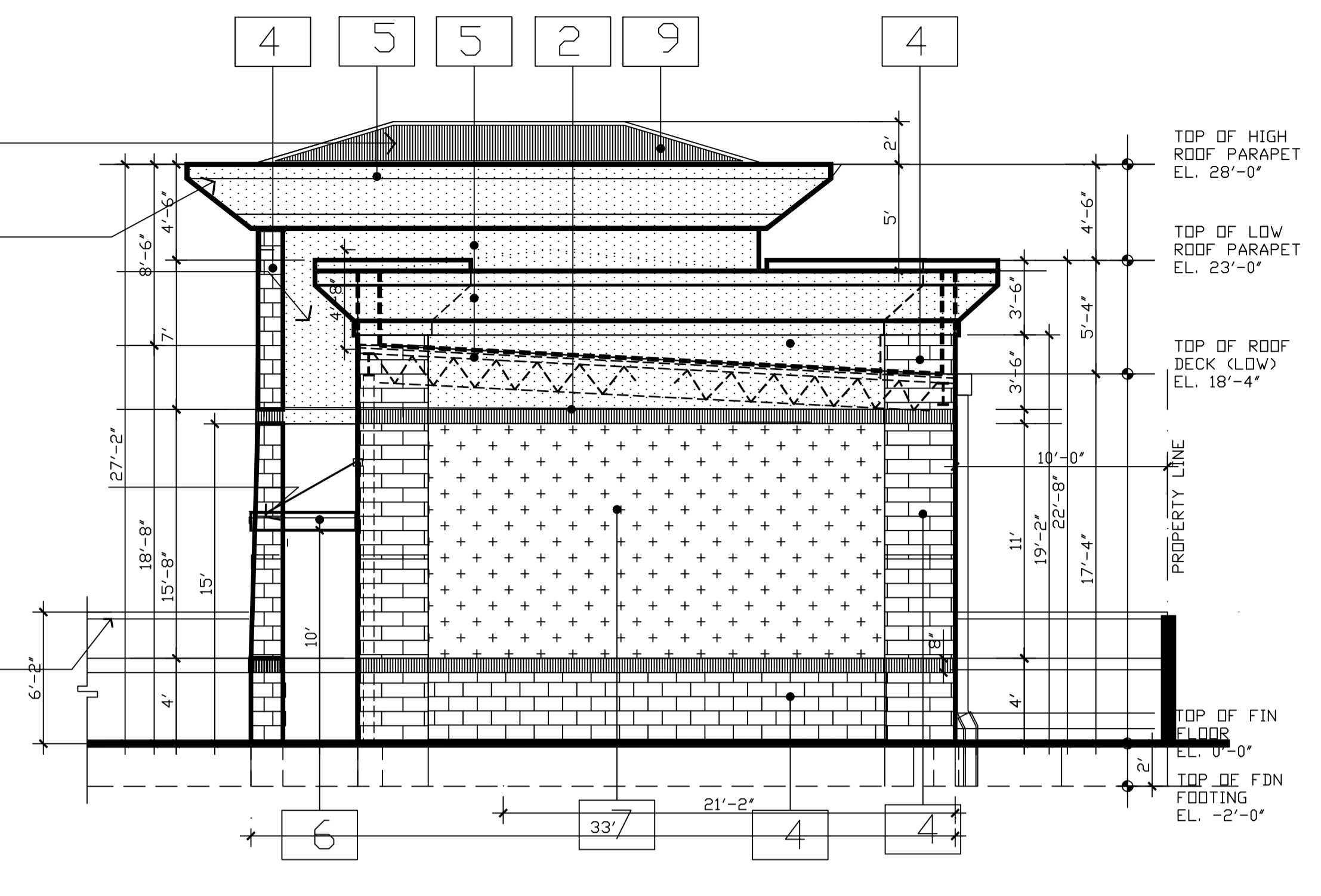
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 ARCHITECTS - URBAN PLANNERS - CONSTRUCTION MANAGERS
 LAWRENCEVILLE, GEORGIA. 30044-4662

DESIGN DEVELOPMENT DOCUMENTS - NOT ISSUED FOR CONSTRUCTION



NEW PIEDMONT ROAD C- STORE
 WEST ELEVATION

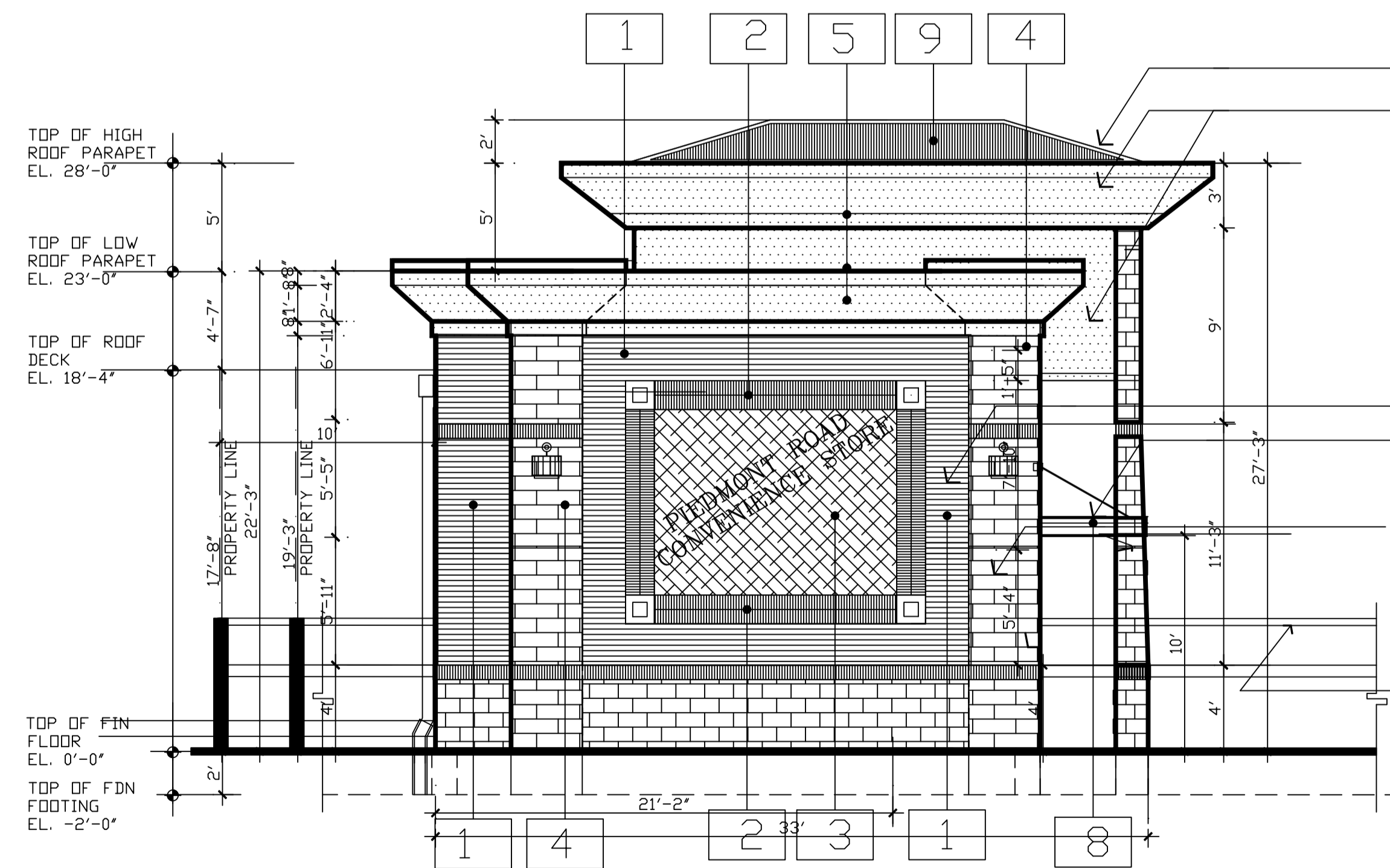
1
 A-4
 3/16" = 1'-0"
 4000 SQ. FT.



NEW PIEDMONT ROAD C- STORE
 SOUTH ELEVATION

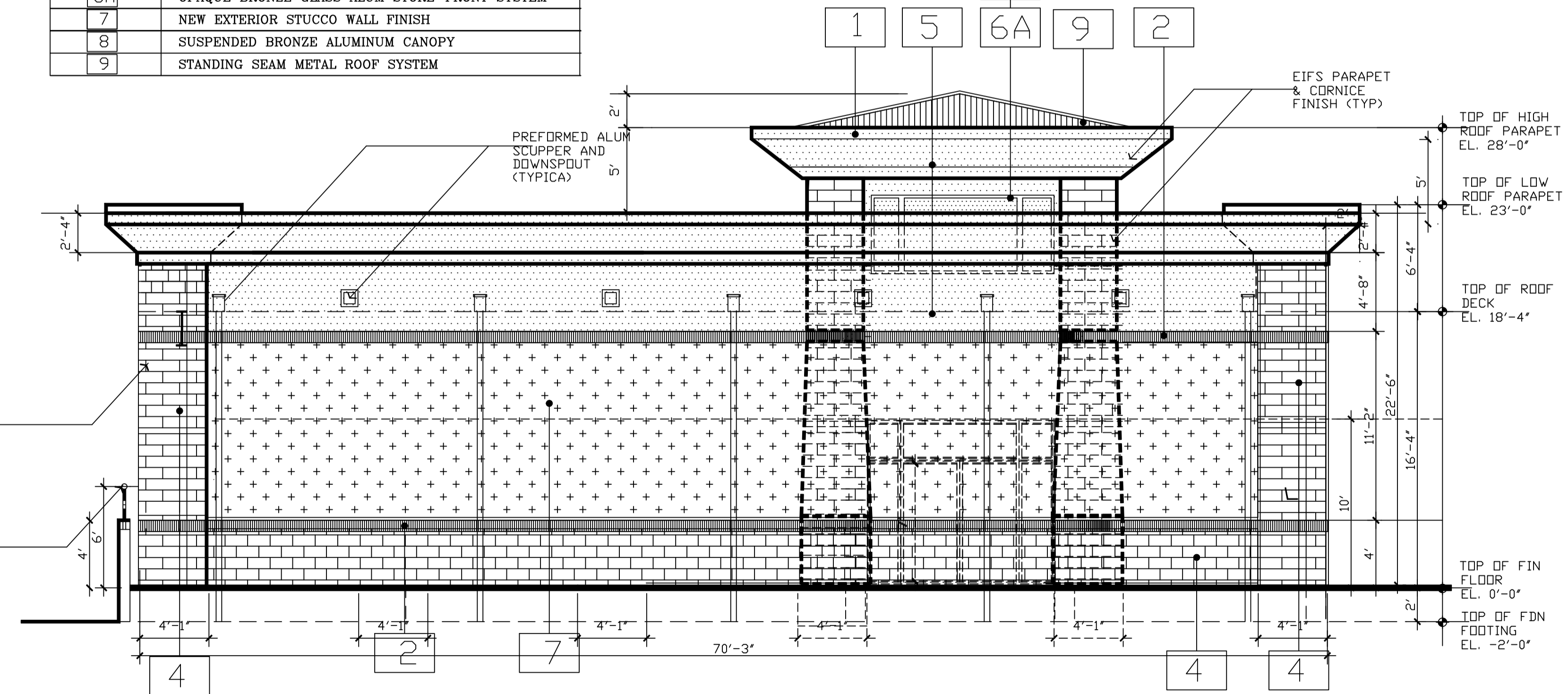
2
 A-4
 3/16" = 1'-0"
 4000 SQ. FT.

EXTERIOR BRICK/STONE/EIFS/STOREFRONT FINISH LEGEND	
FINISH TYPE	DESCRIPTION
1	STANDARD RED CHATAHOOCHEE BRICK
2	STANDARD 8" RED-BRICK SOLDIER COURSE
3	STANDARD BEIGE HERRINGBONE BRICK PATTERN
4	STACK-STONE EXTERIOR VENEER FINISH SYSTEM
5	STANDARD EIFS FINISH (COLOR TO BE DETERMINED)
6	BRONZE ANODIZED ALUMINUM STORE-FRONT SYSTEM
6A	OPAQUE BRONZE GLASS ALUM STORE-FRONT SYSTEM
7	NEW EXTERIOR STUCCO WALL FINISH
8	SUSPENDED BRONZE ALUMINUM CANOPY
9	STANDING SEAM METAL ROOF SYSTEM



NEW PIEDMONT ROAD C- STORE
 NORTH ELEVATION

3
 A-4
 3/16" = 1'-0"
 4000 SQ. FT.



NEW PIEDMONT ROAD C- STORE
 EAST ELEVATION

4
 A-4
 3/16" = 1'-0"
 4000 SQ. FT.

EXTERIOR FACADE MATERIAL CALCULATIONS (TOTAL SURFACE AREA-5085 SF)				
GLAZED AREA	BRICK AREA	STONE AREA	STUCCO AREA	EIFS AREA
500 SF (9.83%)	820 SF (16.13%)	1484 SF (29.18%)	879 SF (17.29%)	1402 SF (27.57%)

REVISIONS	
DATE	DESCRIPTION

DATE	
SCALE	1/8" = 1'-0"
PROJECT TITLE	NEW PIEDMONT ROAD C-STORE - TYP BLDG ELEVATIONS
DRAWING NUMBER	A-4
PROJECT TITLE	IMPROVEMENTS TO AN EXISTING C-STORE & SITE 1855 PIEDMONT ROAD, NE, ATLANTA, GEORGIA, 30324 MR. ENITHAZ HAITANI-OWNER & PROPRIATOR