



**OFFICE OF ZONING AND DEVELOPMENT**

55 Trinity Avenue S.W., Suite 3350

Atlanta, Georgia 30303

(404) 330-6145

APPLICATION #: **V-20-108**

DATE ACCEPTED: **08/25/2020**

**NOTICE TO APPLICANT**

Address of Property:

**1164 Mclynn AVE NE**

City Council District: **6** Neighborhood Planning Unit (NPU): **F**

Board of Zoning Adjustment (BZA) Hearing Date:

**Thursday, October 08, 2020 at 12:00 p.m.**

Council Chambers, 2nd Floor, City Hall  
55 Trinity Avenue, S.W.

The contact person for NPU F is:

**Debbi Skopczynski**

**404-874-7483**

**zoning@npufatlanta.org**

Contact info for adjacent NPUs is provided below if necessary:

**Additional Contacts:**

Please contact the person(s) listed above within five days to find out which meetings you will be required to attend before the next NPU meeting. If you are unable to reach the contact person, please call the city's NPU Coordinator at 404-330-6145.

Digitally signed by Racquel Jackson  
DN: cn=Racquel Jackson,  
o=Office of Zoning &  
Development, ou=DCP,  
email=rtjackson@atlantaga.gov,  
c=US  
Date: 2020.08.25 18:01:03 -04'00'

RJ, for Director, Office of Zoning and  
Development

Mark F. Arnold



City of Atlanta  
Office of Zoning and Development  
55 Trinity Avenue, Suite 3350  
Atlanta, Georgia 30303  
Phone: 404-330-6145

**REFERRAL CERTIFICATE**

COUNCIL DISTRICT 6 APPLICATION NUMBER V-20-108

NPU F DATE FILED \_\_\_\_\_

Mark F. Arnold  
Name of Applicant

**BUILDING PERMIT AUTHORIZING**  
*Construction of a detached accessory structure*

at 1164 McLynn Avenue NE 17<sup>th</sup>/2  
Street Address Quadrant District & Land Lot

to be used for Residential purposes

The property is zoned R-4 (Single Family Residential) District

2. The Building Permit Was Denied For The Following Reasons:

Applicant seeks a variance to reduce the west side yard setback from 7 feet to 5.5 feet, the rear yard setback from 15 feet to 3.5 feet and to increase the size of an accessory structure from 30% of the main dwelling to 43% for the construction of a detached accessory structure.

**Applicant seeks no other variances at this time.**  
**1982 ZONING ORDINANCE, AS AMENDED**

Chapter 6 Section 16-06.008 Paragraph (2) & (3)

Chapter 28 Section 16-28.004 Paragraph (3)

Tamaria Letang 8/25/2020  
Plan Reviewer Date

Mark Arnold 8/25/2020  
Applicant Date



**RECEIVED**

DATE: 8/19/2020

# APPLICATION FOR BOARD OF ZONING ADJUSTMENT

Please mark "X" next to the type of application(s) you are submitting:

Variance	<input checked="" type="checkbox"/>
Special Exception	<input type="checkbox"/>
Variance & Special Exception	<input type="checkbox"/>

Date Filed \_\_\_\_\_

Application Number V-20-108

Name of Applicant Mark Arnold

Daytime Phone 404-617-1520

Company Name (if applicable) Mark Arnold, Architect

email markarnoldarchitect@gmail.com

Address 1126 N Highland Ave, NE Atlanta GA 30306  
street city state zip code

Name of Property Owner John & Elizabeth Rothermel Phone (404) 610-2842

Address 1164 McLynn Avenue, NE Atlanta GA 30306  
street city state zip code

### Description of Property

Address of Property 1164 McLynn Avenue, NE Atlanta GA 30306  
street city state zip code

Area: \_\_\_\_\_ Land Lot: 02 District: 17, Fulton County, GA.

Property is zoned: R4, Council District: 06, Neighborhood Planning Unit (NPU): F

TO THE BOARD OF ZONING ADJUSTMENT: Applicant, having received a preliminary plan review from the Office of Zoning and Development prior to seeking a building permit or certificate of occupancy, hereby requests that the Board of Zoning Adjustment grant a Variance or Special Exception.

I hereby authorize the staff of the Office of Zoning and Development to inspect the premises of the above-described property. I understand that it is my responsibility to post a public notice sign on the property according to the instructions given to me by the Office of Zoning and Development upon filing this application. I swear that all statements herein and attached hereto are true and correct to the best of my knowledge and belief.

  
Owner or Agent for Owner (Applicant)

Mark Arnold

Print Name of Owner

Sworn To And Subscribed Before Me This 19<sup>th</sup> Day Of AUG, 2020.

\_\_\_\_\_  
NOTARY PUBLIC

**P PATEL**  
Notary Public, Cobb County, Georgia  
My Commission Expires Feb 24, 2023

**RECEIVED**

DATE: 8/19/2020

**SUMMARY & JUSTIFICATION FOR VARIANCES**

Complete responses must be provided for ALL questions. Incomplete applications will not be accepted. The space below may be utilized or responses may be submitted as a separate attachment. Specific criteria for Board approval of variances may be found on page 7. **The justification must address the criteria.** Please submit a typewritten or legible justification.

Is the property described in this application subject to a pending application or ordinance for a Rezoning or Special Use Permit? \_\_\_\_\_ YES  NO.  (If yes, the variance/special exception request will be rescheduled to a hearing following the final approval by City Council & the Mayor). Please provide the relevant zoning application number associated with the subject property: \_\_\_\_\_.

**Summary of proposed construction changes to buildings or site (shall not replace submittal of written criteria).** (Examples: “Convert a 100’ x 200’ retail space into a restaurant.” “Install a 6-foot high opaque wooden wall (‘privacy fence’ with 6-foot high opaque wall gates.”).

Demolition and replacement of existing accessory structure.

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**Proposed Lot Coverage (After Construction):** Calculate total amount of lot coverage on entire property, after completion of proposed construction, including existing and proposed buildings and other structures; sidewalks, driveways, parking pads, patios, gravel, etc.; everything except natural planted or undisturbed areas.

4,042 covered square feet / 8,085 total lot square feet = 49.9 % proposed lot coverage  
50 % maximum allowed lot coverage

**Variance Criteria (see page 6 for detailed criteria):**

- 1) What are the extraordinary and exceptional conditions pertaining to the particular piece of property in question (size, shape or topography)?  
*SEE ATTACHED JUSTIFICATION LETTER*
  
- 2) How would the application of the Zoning Ordinance of the City of Atlanta to this particular piece of property create an unnecessary hardship?  
*SEE ATTACHED JUSTIFICATION LETTER*
  
- 3) What conditions are peculiar to this particular piece of property?  
*SEE ATTACHED JUSTIFICATION LETTER*
  
- 4) Submit facts to show that relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta.  
*SEE ATTACHED JUSTIFICATION LETTER*

John & Elizabeth Rothermel

1164 McLynn Avenue, NE  
Atlanta, Georgia 30306  
(404) 610-2842  
jgrothermel@gmail.com



V-20-108

August 4, 2020

City of Atlanta  
Department of Planning and Community Development  
Bureau of Planning, Current Planning Division  
55 Trinity Avenue, Suite 3350  
Atlanta, GA 30335

*re: 1164 McLynn Avenue, NE 30306*

Planning Staff:

Our property contains an existing dilapidated garage which we would like to remove and replace with a new accessory structure. The existing garage is one story and encroaches 1.5 feet into the required side yard setback and 11.5 feet into the required rear yard setback.

We would like to replace the garage with a two story accessory structure on a similar footprint as the existing garage. The new structure would maintain the 5.5 side yard and 3.5 feet rear yard setbacks of the existing garage, but it would be both wider and deeper. The extra width and depth would be built in the allowable building footprint of our lot. The new accessory structure will provide us with living space for our growing family and space for a home office. As such it will be larger than the existing garage and it exceeds 30% of the main structure floor area.

It is our understanding that because we are rebuilding the garage we will need variances to maintain the existing setbacks and we will also need a variance for the garage to exceed 30% of the main structure floor area. We, therefore, request the following variances:

- 1. Reduce the west side yard setback from the required 7 feet to 5.5 feet.**
- 2. Reduce the rear yard setback from the required 15 feet to 3.5 feet.**
- 3. Increase the allowable area of the accessory structure from 30% to 43% of the main structure area.**

We offer the following items in support of our variance request:

- Variance Application (including variance criteria addressed below)
- Proposed Site Development Drawings
- Referral Certificate
- Proposed Plans & Elevations

The subject property is zoned R-4. We believe the property meets the variance criteria laid out in Section 16-26.003 in the Zoning Guidelines in the following ways:

**Extraordinary/Exceptional Conditions Pertaining to the Property because of its Size/Shape**

Our lot is pie-shaped and tapers in towards the back of the lot. As such, the lot width is only 40 feet at the back of the lot and this exceptional narrowness combined with 7 foot side yard setbacks is very restrictive.

The area of our lot is 8,085 sf versus the required minimum area of 9,000 sf. This reduced lot area combined with the 15 foot rear yard setback is also restrictive.

**The Application of the Zoning Ordinance to this Property would create an Unnecessary Hardship**

We have designed the accessory structure to coincide with the existing garage footprint in order to preserve the usable back yard space and reduce impact to the existing trees. By locating the accessory structure at the rear corner of our property and maintaining the existing side and rear yard encroachments we will reduce land disturbance. Denial of our variance request would create a hardship in that it would not allow us to construct the accessory structure in a pragmatic manner.

**Such conditions are peculiar to the particular piece of property involved**

Many of the intown Atlanta lots have features that are in conflict with the current zoning ordinance. It is not uncommon to encounter a property that does not conform to the required lot size, however the pie-shape of this lot is especially restrictive in the narrowness of the rear yard and dimension of the rear property line.

**The Variance would not cause substantial detriment to the public good or impair the purpose and intent of the Zoning Ordinance of Atlanta**

The variance, if granted, will not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta. Relief, if granted, will not distract from people's use and enjoyment of adjoining and surrounding properties. The proposed construction is in harmony with construction on neighboring lots, and allows for adequate light and air. We believe the proposed construction is in keeping with the orderly evolution of this neighborhood and will promote desirable living conditions for the homeowner as well as the neighborhood.

Thank you for your consideration in this request.

Sincerely,

John & Elizabeth Rothermel



V-20-108

**RECEIVED**

DATE: 8/19/2020

**AUTHORIZATION BY PROPERTY OWNER**

**(Required only if the applicant is not the owner of the property subject to the proposed application.)**

*(Please print clearly. Must be the original document. A copy will not be accepted.)*

I, John Rothermel (OWNER'S NAME) SWEAR AND AFFIRM THAT I AM THE OWNER OF THE PROPERTY AT 1164 McLynn Avenue, Ne (PROPERTY ADDRESS). AS SHOWN IN THE RECORDS OF Fulton COUNTY, GEORGIA, WHICH IS THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE PERSON NAMED BELOW TO FILE THIS APPLICATION AS MY AGENT.

**NAME OF APPLICANT:**

LAST NAME Arnold FIRST NAME Mark  
ADDRESS 1126 N Highland Avenue, NE Atlanta, GA 30306 SUITE \_\_\_\_\_  
CITY Atlanta STATE GA ZIP CODE 30306

OWNER'S TELEPHONE NUMBER: (404) 610-2842

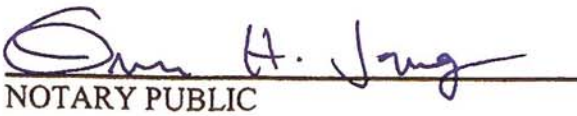


SIGNATURE OF OWNER

John Rothermel

PRINT NAME OF OWNER

PERSONALLY APPEARED BEFORE ME THE ABOVE NAMES, WHO SWEARS THAT THE INFORMATION CONTAINED IN THIS AUTHORIZATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

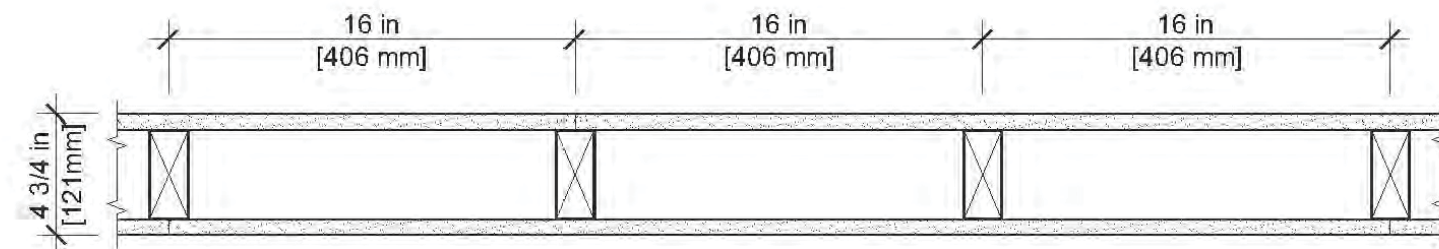
  
NOTARY PUBLIC

8/17/2020

DATE



UL SPECIFICATIONS



UL U305  
Interior Partitions - Wood Stud (Load-bearing)

Fire Rating	1 hour
STC	33
Sound Test	RAL-TL11-172
System Thickness	4-3/4"

Assembly Options

- Gypsum Board - 5/8 in. thick board applied horizontally or vertically
  - USG Sheetrock® Brand Gypsum Panels AR Firecode® X - 5/8" (UL Type AR)
  - USG Sheetrock® Brand EcoSmart Panels Firecode® X - 5/8" (UL Type ULIX)
  - USG Sheetrock® Brand EcoSmart Panels Mold Tough® Firecode® X - 5/8" (UL Type ULIX)
  - USG Sheetrock® Brand Mold Tough® AR Firecode® X Panels - 5/8" (UL Type AR)
  - USG Sheetrock® Brand Glass-Mat Panels Mold Tough® AR Firecode® X - 5/8" (UL Type AR)
  - USG Sheetrock® Brand Mold Tough® VHI Firecode® X Panels - 5/8" (UL Type AR)
  - USG Sheetrock® Brand Glass-Mat Panels Mold Tough® VHI Firecode® X - 5/8" (UL Type AR)
  - USG Sheetrock® Brand Firecode® C Panels - 5/8" (UL Type C)
  - USG Sheetrock® Brand Mold Tough® Firecode® C Panels - 5/8" (UL Type C)
  - USG Fiberock® Brand AR Interior Panels - 5/8" (UL Type FRX-G)
  - USG Fiberock® Brand Anua-Tough™ AR Interior Panels - 5/8" (UL Type FRX-G)
  - USG Sheetrock® Brand Gypsum Base Imperial® Firecode® X - 5/8" (UL Type IP-X1)
  - USG Sheetrock® Brand Gypsum Base Imperial® Firecode® C - 5/8" (UL Type IP-X2)
  - USG Sheetrock® Brand Firecode® X Panels - 5/8" (UL Type SCX)
  - USG Sheetrock® Brand Mold Tough® Panels Firecode® X - 5/8" (UL Type SCX)
  - USG Sheetrock® Brand Glass-Mat Panels Mold Tough® - 5/8" (UL Type SGX)
  - USG Durrock™ Brand Glass-Mat The Backerboard - 5/8" (UL Type SGX)
  - USG Sheetrock® Brand UltraLight Panels Firecode® X - 5/8" (UL Type ULIX)
  - USG Sheetrock® Brand UltraLight Panels Firecode® C - 5/8" (UL Type ULIX)

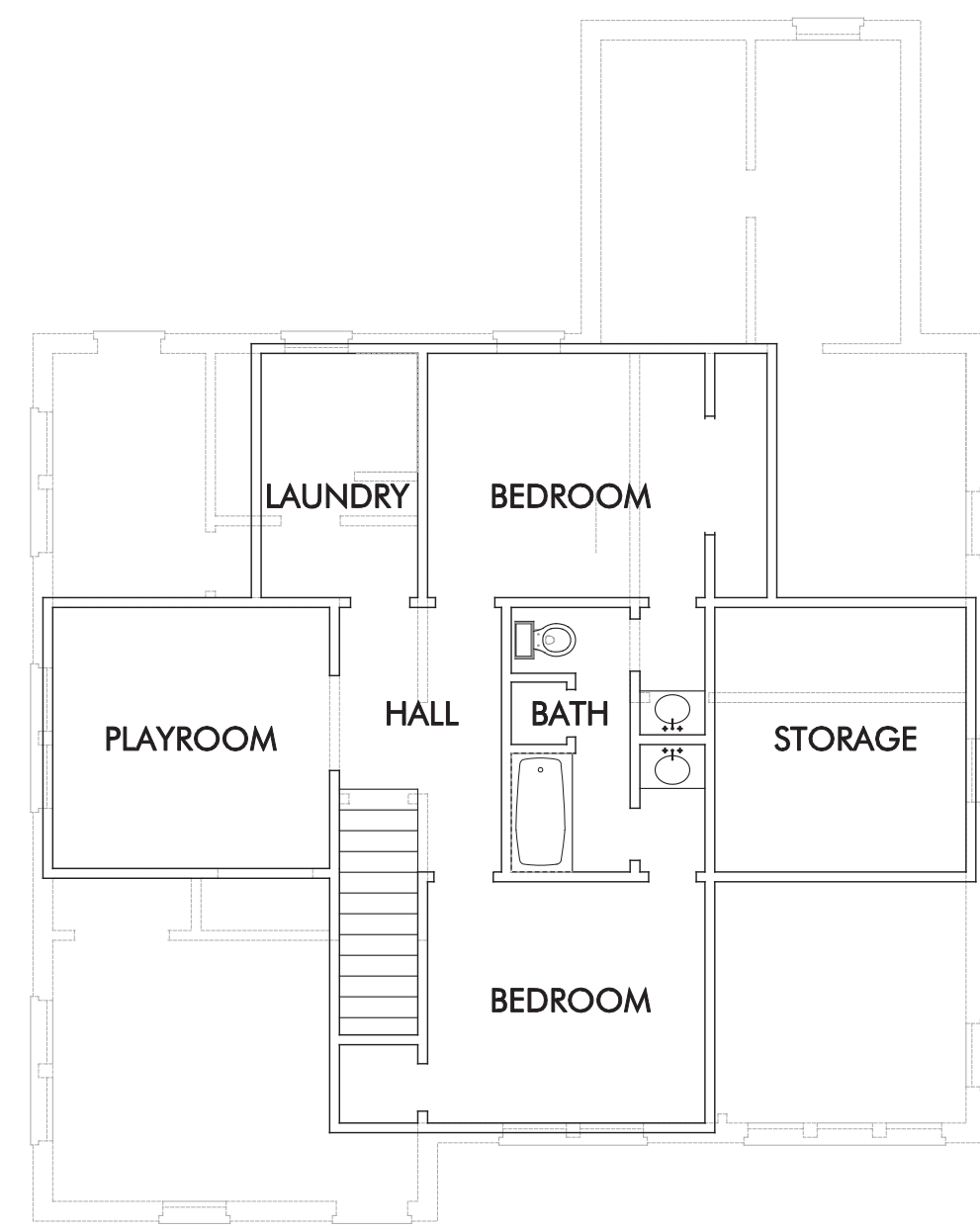
Wood Studs - 2 in. x 4 in. wood studs spaced max. 16 in. OC

Gypsum Board - 5/8 in. thick board applied horizontally or vertically

- USG Sheetrock® Brand Gypsum Panels AR Firecode® X - 5/8" (UL Type AR)
- USG Sheetrock® Brand EcoSmart Panels Firecode® X - 5/8" (UL Type ULIX)
- USG Sheetrock® Brand EcoSmart Panels Mold Tough® Firecode® X - 5/8" (UL Type ULIX)
- USG Sheetrock® Brand Mold Tough® AR Firecode® X Panels - 5/8" (UL Type AR)
- USG Sheetrock® Brand Glass-Mat Panels Mold Tough® AR Firecode® X - 5/8" (UL Type AR)
- USG Sheetrock® Brand Mold Tough® VHI Firecode® X Panels - 5/8" (UL Type AR)
- USG Sheetrock® Brand Glass-Mat Panels Mold Tough® VHI Firecode® X - 5/8" (UL Type AR)
- USG Sheetrock® Brand Firecode® C Panels - 5/8" (UL Type C)
- USG Sheetrock® Brand Mold Tough® Firecode® C Panels - 5/8" (UL Type C)
- USG Fiberock® Brand AR Interior Panels - 5/8" (UL Type FRX-G)
- USG Fiberock® Brand Anua-Tough™ AR Interior Panels - 5/8" (UL Type FRX-G)
- USG Sheetrock® Brand Gypsum Base Imperial® Firecode® X - 5/8" (UL Type IP-X1)
- USG Sheetrock® Brand Gypsum Base Imperial® Firecode® C - 5/8" (UL Type IP-X2)

FLOOR-CEILING SYSTEMS, WOOD-FRAMED

GA FILE NO. FC 5420	GENERIC	1 HOUR FIRE	35 to 39 STC SOUND
<b>WOOD JOISTS, GYPSUM WALLBOARD</b>			
One layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to 2 x 10 wood joists 16" o.c. with 6d coated nails, 1 7/8" long, 0.0915 shank, 1/4" heads, 8" o.c. Wood joists supporting 1" nominal wood subfloor and 1" nominal wood finish floor, or 19/32" plywood finished floor with long edges T & G and 15/32" interior plywood with exterior glue subfloor perpendicular to joists with joints staggered.			
Approx. Ceiling Weight:		2.5 pcf	
Fire Test:		UL R3501-5, 7-15-52; UL R1319-2, 3, 6-5-52; UL Design L501; UL C Design M500	
Sound Test:		See FC 5410 (NGC 4024, 7-13-66)	
IIC & Test:		32 (86 C & P) NGC 5032, 7-19-66	



MAIN STRUCTURE - SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



V-20-108

FLOOR AREA: 872 SF

ZONING ANALYSIS

R-4 (SINGLE FAMILY RES) DISTRICT, SECTION 16-06 City of Atlanta Zoning Ordinance

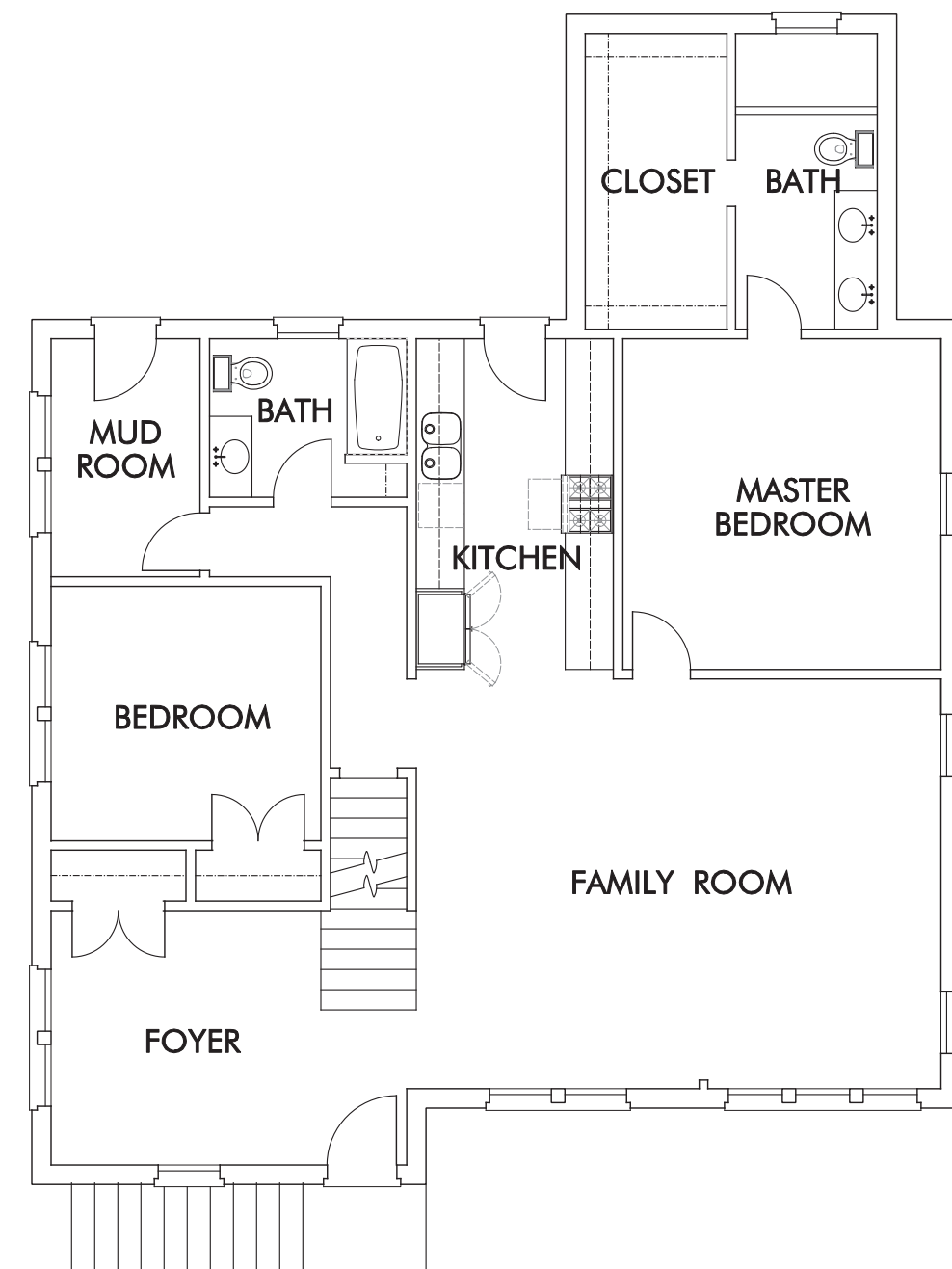
- Minimum lot area: 9,000 SF  
Existing: 8,085 SF (0.186 ACRES)
- Minimum lot frontage: 70 feet  
Existing: 69.94 feet  
Proposed: NO CHANGE
- Maximum Floor Area Ratio: 50%  
Existing: 30.8%  
House First Floor 1,614sf + House Second Floor 872sf divided by Lot Area 8,085sf = 1,614sf + 872sf / 8,085 = 2,486 / 8,085 = 0.3075  
Proposed: 41.7%  
House First Floor 1,614sf + House Second Floor 872sf + Garage 1st Floor 533sf + Rear Deck 266sf + Front Porch & Steps 77sf divided by Lot Area 8,085sf = 1,614sf + 872sf + 533sf + 355sf / 8,085 = 3,374 / 8,085 = 0.417
- Maximum lot coverage: 50%  
Existing: 46.6%  
House 1621sf + Garage 341sf + Driveway & Walks 1415sf + Walls 44sf + Rear Deck 266sf + Front Porch & Steps 77sf divided by Lot Area 8,085sf = 3,764 / 8,085sf = 0.4656 = 46.56%  
Proposed: 49.9%  
House 1621sf + Garage 606sf + Driveway & Walks 1415sf + Walls 44sf + Rear Deck 266sf + Front Porch & Steps 77sf divided by Lot Area 8,085sf = 4,029 / 8,085sf = 0.4989 = 49.89%
- Minimum depth front yard: 35 feet  
Existing: 31' (to front porch)  
Proposed: NO CHANGE
- Minimum width east side yard: 17.5 feet  
Existing at Garage: 18.2'  
Proposed at Garage: 11.7'
- Minimum width west side yard: 7 feet  
Existing at Garage: 5.5'  
Proposed at Garage: 5.5' (NO CHANGE)
- Minimum depth rear yard: 15 feet  
Existing at Garage: 3.5'  
Proposed at Garage: 3.5' (NO CHANGE)
- Maximum building height: 35 feet  
Existing at Garage: 16'  
Proposed at Garage: 19.5'

10) Section 16.004 Criteria

Accessory buildings in R-1 through R-5 districts shall:  
a) not exceed 20 feet in height,  
b) not cover more than 25 percent of the area of the rear yard  
c) not contain a total floor area greater than 30 percent of the main structure

a) Accessory structure is 19.5' per attached elevations. It is less than 20' and therefore conforms to 16.004 criteria.  
b) Accessory Structure Footprint 606 sf divided by Rear Yard Area 3,032 = 606sf / 3,032sf = 0.199 = 20%; Accessory structure is less than 25% of rear yard area and therefore conforms to 16.004 criteria.

c) Accessory Structure Floor Area 888 sf divided by Main Structure Floor Area 2,486 sf = 888sf / 2,486sf = 0.357 sf; Accessory Structure floor area is 36% of Main Structure floor area and there does NOT conform to 16.004 criteria.



MAIN STRUCTURE - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

FLOOR AREA: 1,614 SF

PROPERTY DATA

R-4 (SINGLE FAMILY RES) DISTRICT,  
16-06 City of Atlanta Zoning Ordinance

LAND LOT 02, 17th DISTRICT  
FULTON COUNTY, GEORGIA

EUGENE A STEPANOV, REGISTERED LAND SURVEYOR  
LICENSE NO. 5197

OWNER

JOHN & ELIZABETH ROTHERMEL  
1164 McLYNN AVENUE, NE  
ATLANTA, GA 30306  
(404) 610-2842  
jgrothermel@gmail.com

ARCHITECT

MARK ARNOLD, ARCHITECT  
1126 N. HIGHLAND AVENUE, NE  
ATLANTA, GA 30306  
404-939-3690  
intowmarchitect@gmail.com  
Georgia Registration RA008398



CONTRACTOR

KEVIN MILAM  
LANIER BLVD., NE  
ATLANTA, GA 30306  
(404) 345-1173  
kevselshomes@gmail.com

City of Atlanta Business License No. 190125 LGB, exp. 12 /31/2020  
GA Contractor's License No. R81003910, exp. 6/30/2021  
24 hr Contact: Kevin Milam (404) 345-1173

STRUCTURAL

KOBLASZ & KENNISON ENGINEERING, P.C.  
330 CREEKSTONE RIDGE  
WOODSTOCK, GA 30188  
404-860-2600  
gary@kk-eng.com  
Georgia Registration PE 035653

SURVEYOR

SURVEY LAND EXPRESS, INC  
24 LENOX POINTE  
ATLANTA, GA 30324  
404-252-5747  
info@surveylandexpress.com

APPLICABLE CODES

- International Building Code, 2018 Edition, with Georgia Amendments (2020)
- International Residential Code, 2018 Edition, with Georgia Amendments (2020)
- International Fire Code, 2018 Edition, with Georgia Amendments (2020)
- International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)
- International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)
- International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020)
- National Electrical Code 2017 Ed. with no Georgia Amendments
- International Energy Conservation Code 2015 Edition with Georgia Supplements and Amendments (2020)
- NFPA 101, Life Safety Code 2018 Edition with State Amendments (2020)

TREE STATEMENT

SEE SITE DEVELOPMENT DRAWINGS FOR IMPACT TO TREES

CONSTRUCTION TYPE

TYPE V-B per IBC Section 602.5

PROJECT SUMMARY

DEMOLITION AND REPLACEMENT OF EXISTING ACCESSORY STRUCTURE.

DRAWING INDEX

COVER SHEET	
A-0.00	PROJECT DATA, DRAWING INDEX, ZONING ANALYSIS
SITE DEVELOPMENT & LANDSCAPE	
1 of 3	SITE DATA, NOTES, TREE PROTECTION DETAILS
2 of 3	PROPOSED SITE PLAN
3 of 3	SITE DETAILS, COVERAGE DIAGRAMS, VEGETATION PLAN
ARCHITECTURAL	
A-1.01	PROPOSED PLANS AND ELEVATIONS
A-1.02	WALL AND STAIR SECTION
STRUCTURAL	
S-0	STRUCTURAL DESIGN NOTES
S-1	FOUNDATION PLAN & FRAMING PLANS
SD-1	STRUCTURAL DETAILS

ISSUED FOR CONSTRUCTION

PROPOSED CARRIAGE HOUSE FOR

MARK ARNOLD, ARCHITECT  
© 2019  
404-939-3690  
intowmarchitect@gmail.com

STATE OF GEORGIA  
MARK FREDERICK ARNOLD  
REGISTERED ARCHITECT  
CERTIFICATE NO. 90888

JOHN & ELIZABETH ROTHERMEL RESIDENCE  
1164 McLYNN AVENUE, NE ATLANTA, GEORGIA 30306

PRINT DATE 07/07/20  
REVISIONS

M  
SHEET  
A0.00  
PHASE





- EXISTING HOUSE  
FFE MAIN 912.54
- NO RETAINING WALLS PROPOSED
- SILT FENCE HAND DUG IN CRZ
- NO TREES TO BE REMOVED
- NO GRADED SLOPES  
SHALL EXCEED 2H:1V
- NO WATERS OF THE STATE  
EXIST WITHIN 200' OF THE  
PROJECT SITE

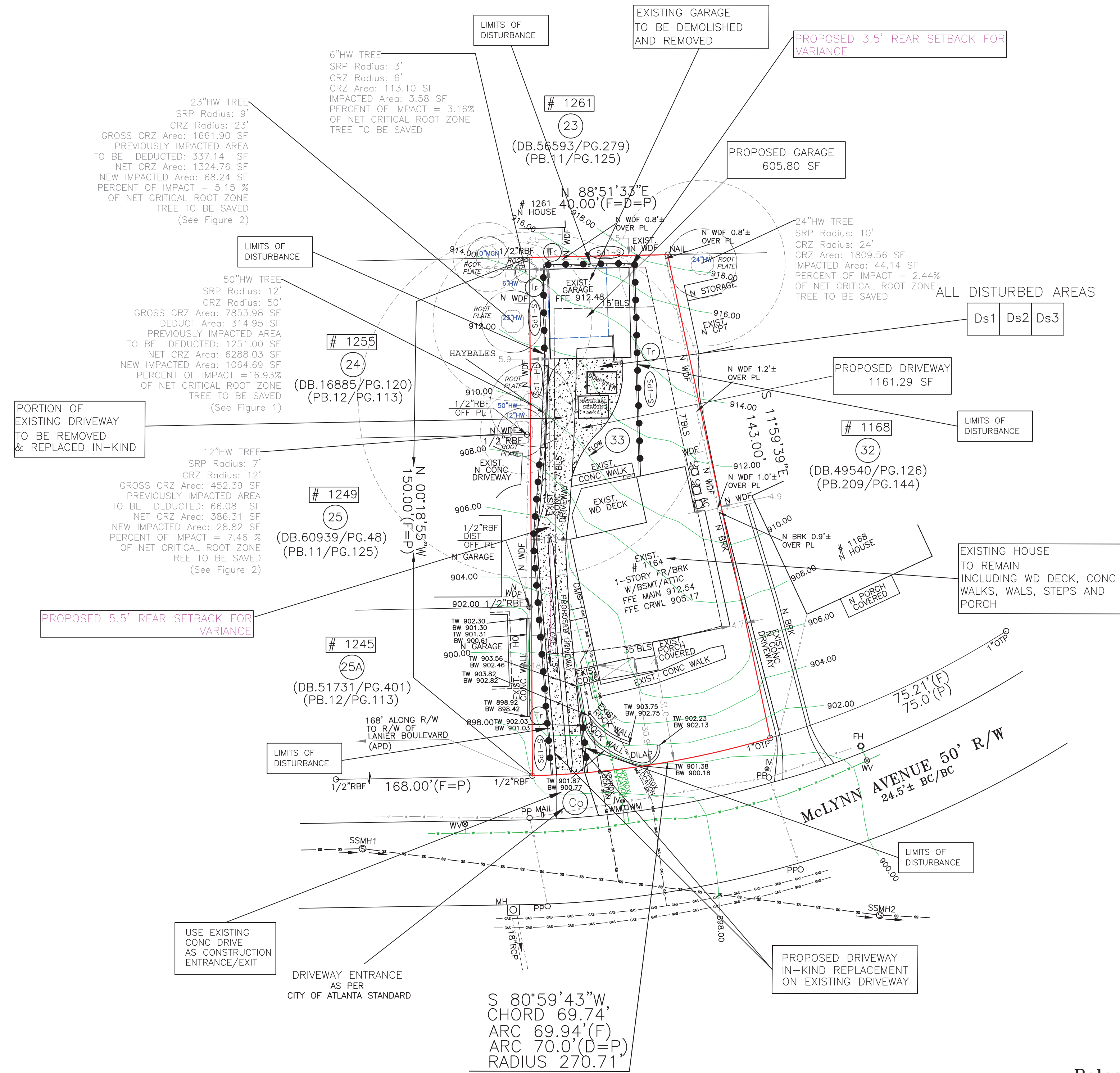
- TREE SAVE STATUS:
- X INDICATES TREE TO BE REMOVED
  - Tr INDICATES TREE PROTECTION FENCE
  - Sd1-S INDICATES Sd1 TYPE S SILT FENCE
  - Sd1-Hb INDICATES Sd1 TYPE Hb (HAYBALES)
- INDICATES PROPOSED CONTOURS
- INDICATES EXISTING CONTOURS



**RECEIVED**

DATE: 8/19/2020

V-20-108



TOTAL LAND AREA  
8084.55 SF / 0.186 AC

ALLOWABLE LOT COVERAGE  
4042.28 SF / 0.093 AC / 50%

EXISTING LOT COVERAGE  
3649.70 SF / 0.084 AC / 45.14%

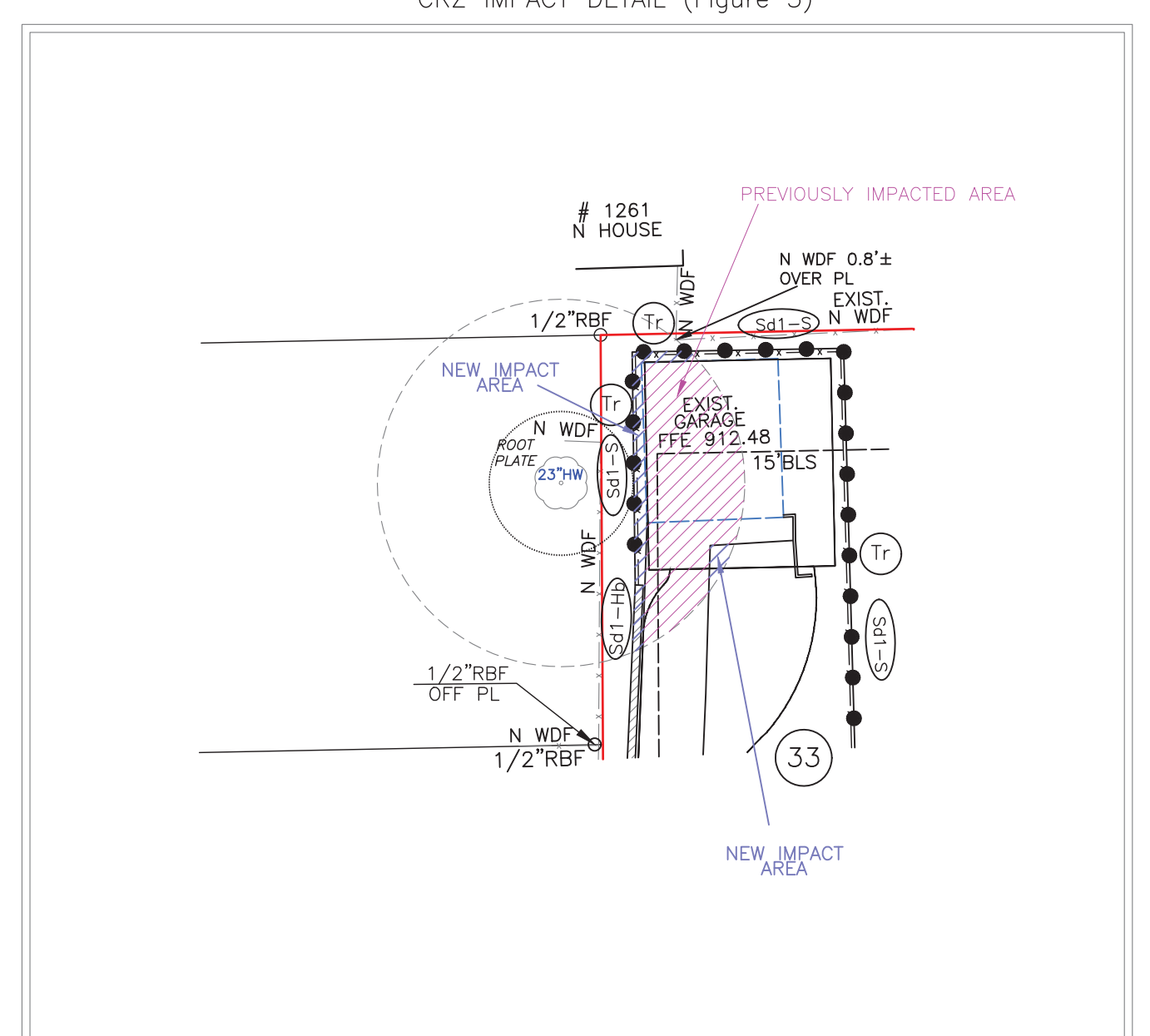
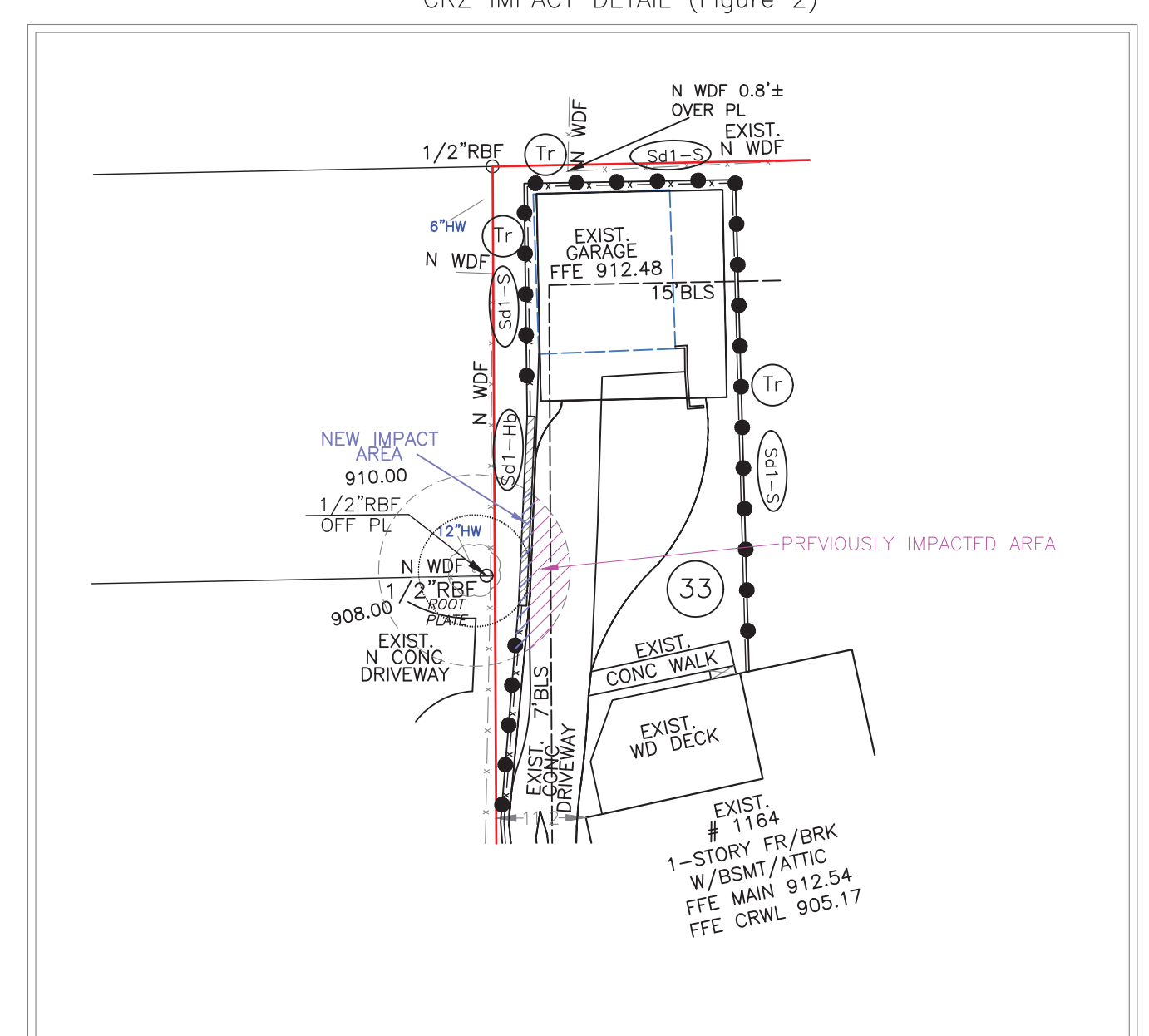
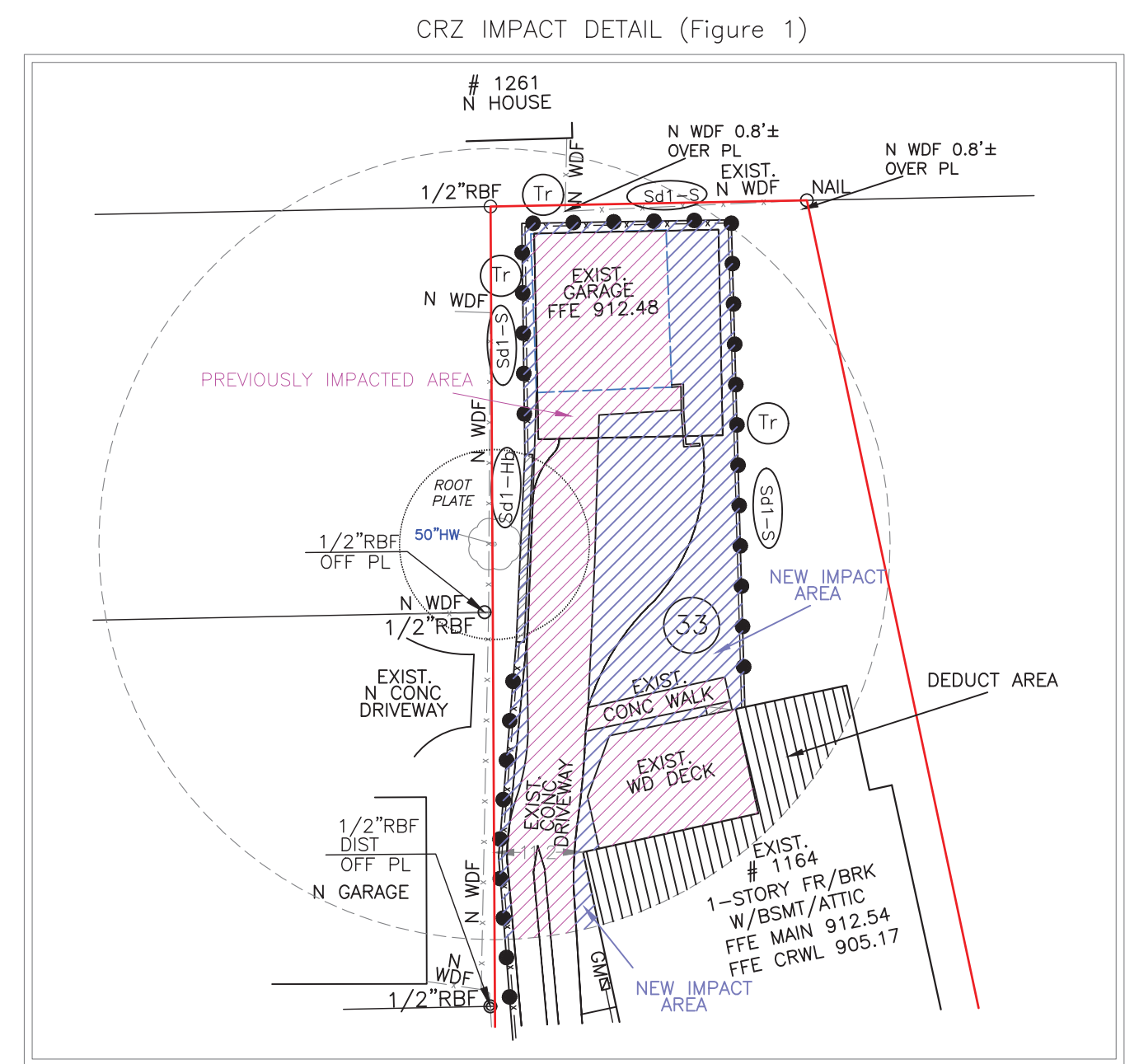
PROPOSED LOT COVERAGE  
4036.33 SF / 0.093 AC / 49.92%

TOTAL ADDED NEW STRUCTURAL 914.18 SF  
TOTAL NEW LOT COVERAGE 4036.33 SF

TOTAL ADDED 914.18 SF, LESS THAN 1000 SF  
STORM WATER MANAGEMENT PLAN IS NOT REQUIRED

DISTURBED AREA  
3029.96 SF / 0.070 AC

FLOOR AREA RATIO  
(See architect's plans for details)



Released for Construction

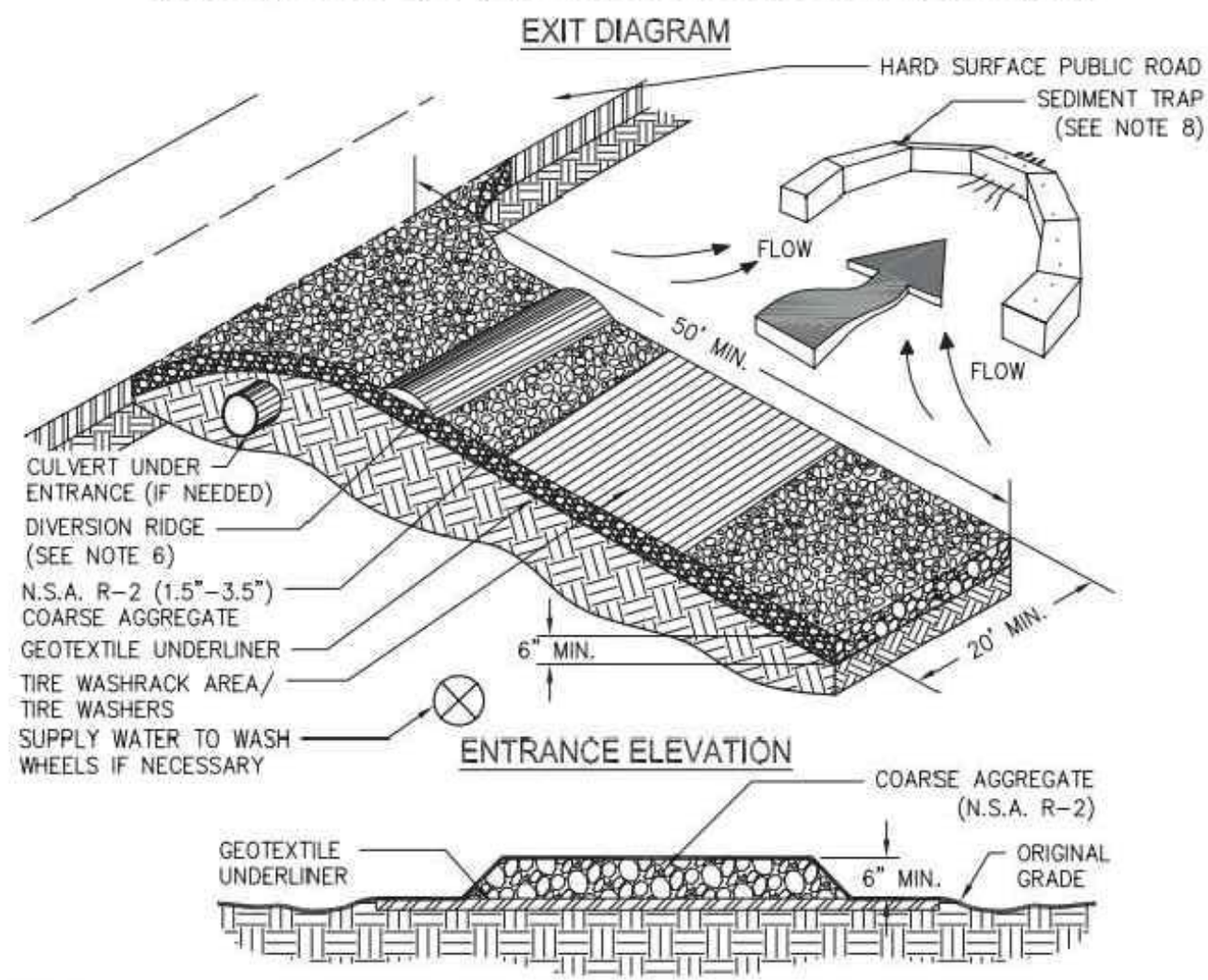
LOT 33 BRIARWOOD SUBDIVISION LAND LOT 2 17TH DISTRICT	BLOCK E PLAT OF ADDITION TO BLOCKS D AND E UNIT SECTION	SITE PLAN/VARIANCE PREPARED FOR: <b>KEVIN MILAM</b>	SHEET 2 OF 3
FULTON COUNTY, GEORGIA FIELD WORK DATE MAY 16, 2020 ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	DB.51177/PG.262 PB.12/PG.137 PRINTED/SIGNED JUN 16, 2020 PAPER SIZE: 24" x 36"	PROPERTY ADDRESS: 1164 McLYNN AVENUE NE ATLANTA, GA 30306	
<p>0</p> <p>20</p> <p>SCALE 1" = 20'</p>		<p>24 LENOX POINT ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-9747 INFO@SURVEYLANDEXPRESS.COM</p>	<p>REGISTERED No. 819 LAND SURVEYOR GENE A. STEPHENS</p>

AU  
COORD #20110234  
DWG #20200911.SPX ADD

**SURVEY LAND EXPRESS, INC**  
LAND SURVEYING SERVICES

AS AN OFFICER, THE SURVEYOR HAS CONDUCTED A RECONSTRUCTION OF THE SURVEY AND HAS BEEN REQUIRED BY THE BOARD OF SURVEYING AND MAPPING TO SIGN THE RECONSTRUCTION REPORT.

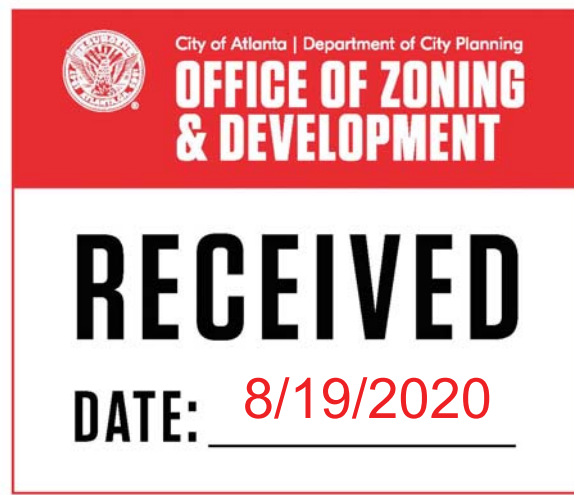
**CRUSHED STONE CONSTRUCTION EXIT**



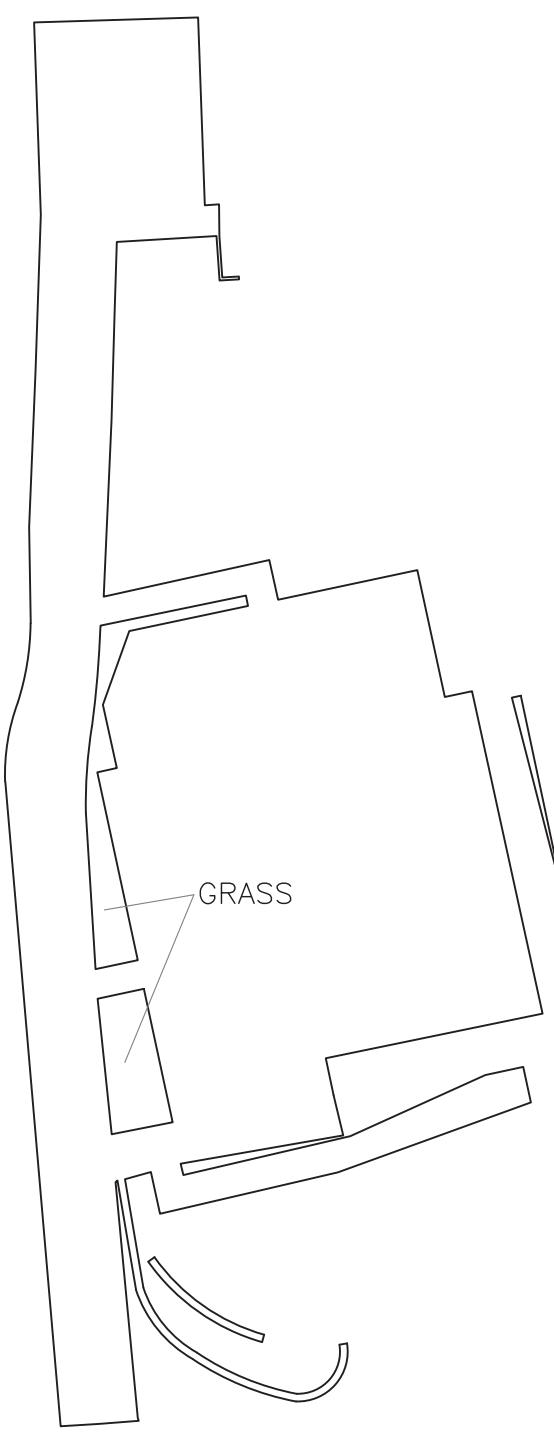
- NOTES:**
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
  2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
  3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
  4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
  5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
  6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
  7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
  8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
  9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
  10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

Figure 6-14.1

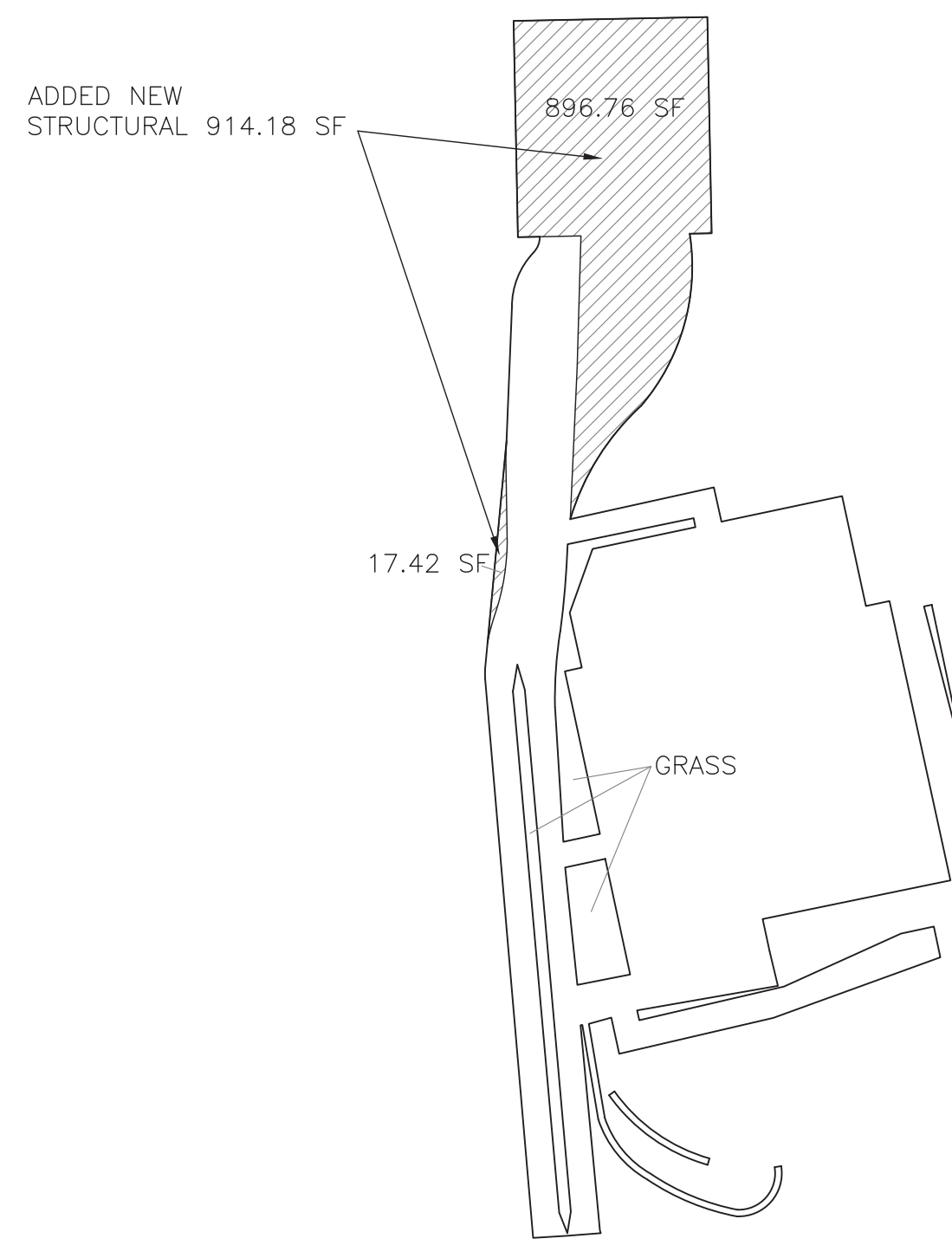
EXISTING LOT COVERAGE DETAIL  
TOTAL: 3649.70 SF / 0.084 AC



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PROPOSED LOT COVERAGE DETAIL  
TOTAL: 4036.33 SF / 0.093 AC



**VEGETATION PLAN**

**Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)**

**DEFINITION**

APPLYING PLANT RESIDUES OR OTHER SUITABLE MATERIALS, PRODUCED ON THE SITE IF POSSIBLE, TO THE SOIL SURFACE.

**CONDITIONS**

MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF DISTURBANCE. MULCH CAN BE USED AS A SINGULAR EROSION CONTROL DEVICE FOR UP TO SIX MONTHS, BUT IT SHALL BE APPLIED AT THE APPROPRIATE DEPTH, DEPENDING ON THE MATERIAL USED, ANCHORED, AND HAVE A CONTINUOUS 90% COVER OR GREATER OF THE SOIL SURFACE. MAINTENANCE SHALL BE REQUIRED TO MAINTAIN APPROPRIATE DEPTH AND 90% COVER. TEMPORARY VEGETATION MAY BE EMPLOYED INSTEAD OF MULCH IF THE AREA WILL REMAIN UNDISTURBED FOR LESS THAN SIX MONTHS. IF AN AREA WILL REMAIN UNDISTURBED FOR GREATER THAN SIX MONTHS, PERMANENT VEGETATIVE TECHNIQUES SHALL BE EMPLOYED.

**SPECIFICATIONS**

MULCHING WITHOUT SEEDING  
THIS STANDARD APPLIES TO GRADES OR CLEARED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDANT COVER, BUT CAN BE STABILIZED WITH A MULCH COVER.

**SITE PREPARATION**

1. GRADE TO PERMIT THE USE OF EQUIPMENT FOR APPLYING AND ANCHORING MULCH.
2. INSTALL NEEDED EROSION CONTROL MEASURES AS REQUIRED SUCH AS DIKES, DIVERSIONS, BERMS, TERRACES AND SEDIMENT BARRIERS.
3. LOOSEN COMPACT SOIL TO A MINIMUM DEPTH OF 3 INCHES.

**MULCHING MATERIALS**

- SELECT ONE OF THE FOLLOWING MATERIALS AND APPLY AT THE DEPTH INDICATED:
1. DRY STRAW OR HAY SHALL BE APPLIED AT A DEPTH OF 2 TO 4 INCHES PROVIDING COMPLETE SOIL COVERAGE. ONE ADVANTAGE OF THIS MATERIAL IS EASY APPLICATION.
  2. WOOD WASTE (CHIPS, SAWDUST OR BARK) SHALL BE APPLIED AT A DEPTH OF 2 TO 3 INCHES. ORGANIC MATERIAL FROM THE CLEARING STAGE OF DEVELOPMENT SHOULD REMAIN ON SITE, BE CHIPPED, AND APPLIED AS MULCH. THIS METHOD OF MULCHING CAN GREATLY REDUCE EROSION CONTROL COSTS.
  3. CUTBACK ASPHALT (SLOW CURING) SHALL BE APPLIED AT 1,200 GALLONS PER ACRE (OR 1/4 GALLON PER SQUARE YARD).
  4. POLYETHYLENE FILM SHALL BE SECURED OVER BANKS OR STOCKPILED SOIL MATERIAL FOR TEMPORARY PROTECTION. THIS MATERIAL CAN BE SALVAGED AND REUSED.

**APPLYING MULCH**

- WHEN MULCH IS USED WITHOUT SEEDING, MULCH SHALL BE APPLIED TO PROVIDE FULL COVERAGE OF THE EXPOSED AREA.
1. STRAW OR HAY MULCH AND WOOD CHIPS SHALL BE APPLIED UNIFORMLY BY HAND OR BY MECHANICAL EQUIPMENT.
  2. IF THE AREA WILL EVENTUALLY BE COVERED WITH PERENNIAL VEGETATION, 20-30 POUNDS OF NITROGEN PER ACRE IN ADDITION TO THE NORMAL AMOUNT SHALL BE APPLIED TO OFFSET THE UPTAKE OF NITROGEN CAUSED BY THE DECOMPOSITION OF THE ORGANIC MULCHES.
  3. CUTBACK ASPHALT SHALL BE APPLIED UNIFORMLY. CARE SHOULD BE TAKEN IN AREAS OF PEDESTRIAN TRAFFIC DUE TO PROBLEMS OF "TRACKING IN" OR DAMAGE TO SHOES, CLOTHING, ETC.
  4. APPLY POLYETHYLENE FILM TO EXPOSED AREAS.

**ANCHORING MULCH**

1. STRAW OR HAY MULCH CAN BE PRESSED INTO THE SOIL WITH A DISK HARROW WITH THE DISK SET STRAIGHT OR WITH A SPECIAL "PACKER DISK" DISKS MAY BE SMOOTH OR SERRATED AND SHOULD BE 20 INCHES OR MORE IN DIAMETER AND 8 TO 12 INCHES APART. THE EDGES OF THE DISK SHOULD BE DULL ENOUGH NOT TO CUT THE MULCH BUT TO PRESS IT INTO THE SOIL LEAVING MUCH OF IT IN AN UPRIGHT POSITION. STRAW OR HAY MULCH SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION. STRAW OR HAY MULCH SPREAD WITH SPECIAL BLOWER-TYPE EQUIPMENT MAY BE ANCHORED WITH EMULSIFIED ASPHALT (GRADE AE-5 OR SS-1). THE ASPHALT EMULSION SHALL BE SPRAYED ONTO THE MULCH AS IT IS EJECTED FROM THE MACHINE. USE 100 GALLONS OF EMULSIFIED ASPHALT AND 100 GALLONS OF WATER PER TON OF MULCH. TACKIFIERS AND BINDERS CAN BE SUBSTITUTED FOR EMULSIFIED ASPHALT. PLEASE REFER TO SPECIFICATION T6 - TACKIFIERS AND BINDERS. PLASTIC MESH OR NETTING WITH MESH NO LARGER THAN 1 INCH BY ONE INCH SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. NETTING OF THE APPROPRIATE SIZE SHALL BE USED TO ANCHOR WOOD WASTE. OPENINGS OF THE NETTING SHALL NOT BE LARGER THAN THE AVERAGE SIZE OF THE WOOD WASTE CHIPS.
3. POLYETHYLENE FILM SHALL BE ANCHOR TRENCHED AT THE TOP AS WELL AS INCREMENTALLY AS NECESSARY.

**Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)**

SPECIES	SEEDING RATES FOR TEMPORARY SEEDING		PLANTING DATES**
	RATE PER 1,000 SF	RATE PER ACRE*	
RYE	3.9 POUNDS	3 bu.	9/1-3/1
RYEGRASS	0.9 POUND	40 lbs.	8/15-4/1
ANNUAL LESPEDEZA	0.9 POUND	40 lbs.	1/15-3/15
WEeping LOVEGRASS	0.1 POUND	4 lbs.	2/15-6/15
SUDANGRASS	1.4 POUNDS	60 lbs.	3/1-8/1
BROWNTOP MILLET	0.9 POUND	40 lbs.	4/1-7/15
WHEAT	4.1 POUNDS	3 bu.	9/15-2/1

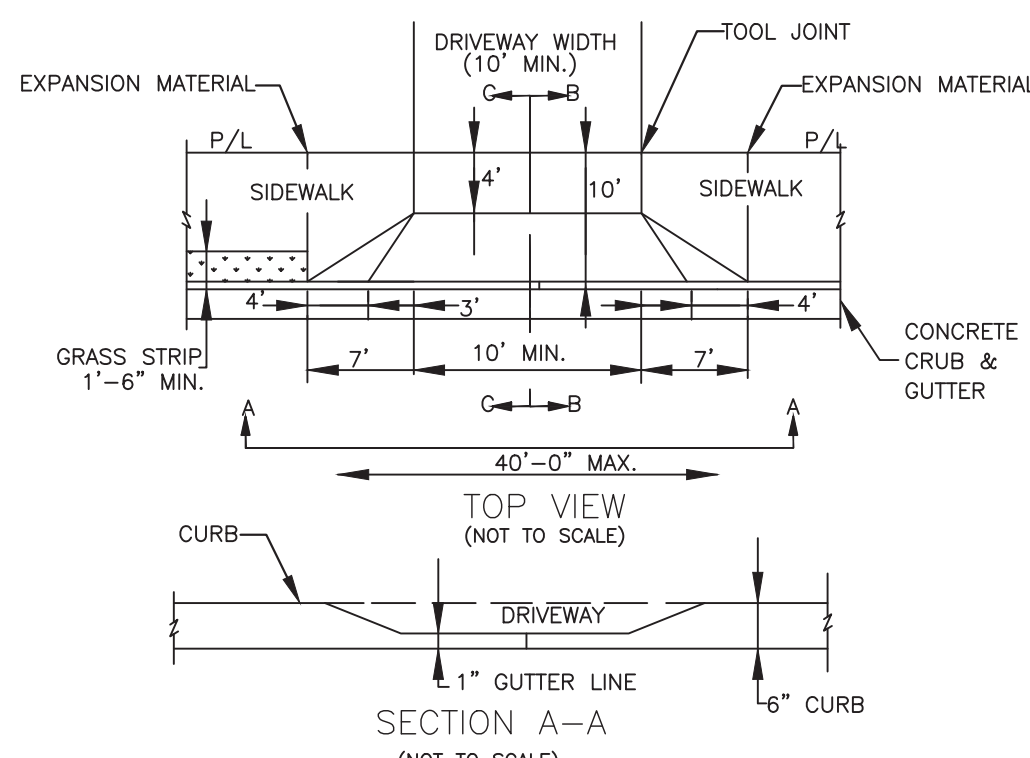
**Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)**

SPECIES	SEEDING RATES FOR PERMANENT SEEDING		PLANTING DATES**
	RATE PER 1,000 SF	RATE PER ACRE*	
BAHIA	1.4 POUNDS	60 lbs.	1/1-12/31
BERMUDA	0.2 POUND	10 lbs.	2/15-7/1
CENTPEDEA	BLOCK SOD ONLY	BLOCK SOD ONLY	4/1-7/1
LESPEDEZA	1.7 POUNDS	75 lbs.	1/1-12/31
WEeping LOVEGRASS	0.1 POUND	4 lbs.	2/1-6/15
SWITCHGRASS	0.9 POUND	40 lbs.	3/15-6/1

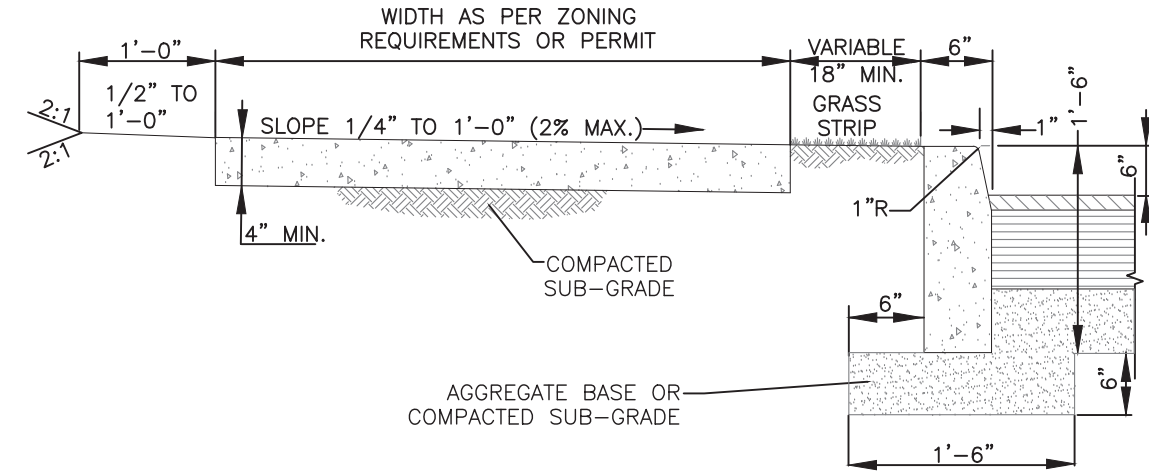
\*UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES.  
\*\*SEEDING DATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND CONDITIONS.

**STANDARD DRIVEWAY WITH CURB AND GUTTER**

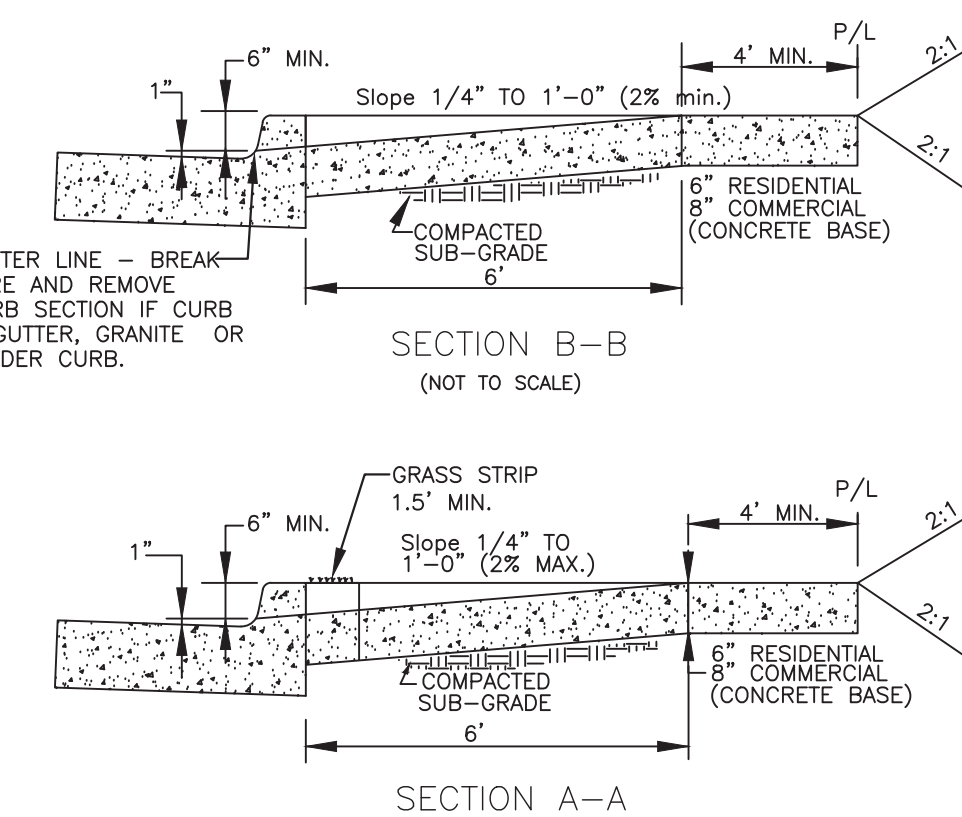
**STANDARD DRIVEWAY DETAILS (NOT TO SCALE)**



**CONCRETE SIDEWALK AND CONCRETE HEADER CURB (NOT TO SCALE)**



- NOTES:**
1. SIDEWALK SHALL BE SCRIBED WITH TRANSVERSE CONTROL JOINTS IN SQUARES EQUAL TO SIDEWALK WIDTH BUT NOT TO EXCEED 10 FEET.
  2. CONCRETE SHALL BE TYPE "A" 3,000 P.S.I. MIN. STRENGTH.
  3. EXPANSION JOINTS SHALL EXTEND ACROSS THE FULL WIDTH OF THE SIDEWALK. CONTROL JOINTS SHALL BE LOCATED ON EACH SIDE OF A DRIVEWAY APRON AND NOT MORE THAN 100 FEET APART.
  4. PREFORMED BITUMINOUS MATERIAL SHALL BE PLACED BETWEEN ALL FIXED OBJECTS AND THE NEW CONCRETE SIDEWALK.
  5. ALL CONCRETE WORK SHALL BE PER CITY OF ATLANTA STANDARD SPECIFICATIONS FOR CONSTRUCTION.
  6. NEITHER WIRE MESH NOR REBAR CAN BE USED IN THE R/W



NOTE:  
CAN EXCHANGE W/ CONC. HEADER CURB OR GRANITE CURB.

**EROSION CONTROL LEGEND**

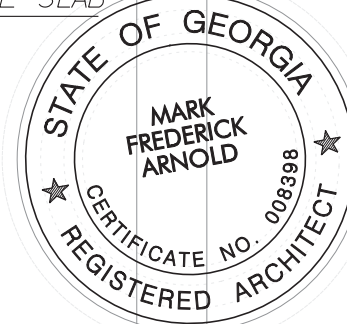
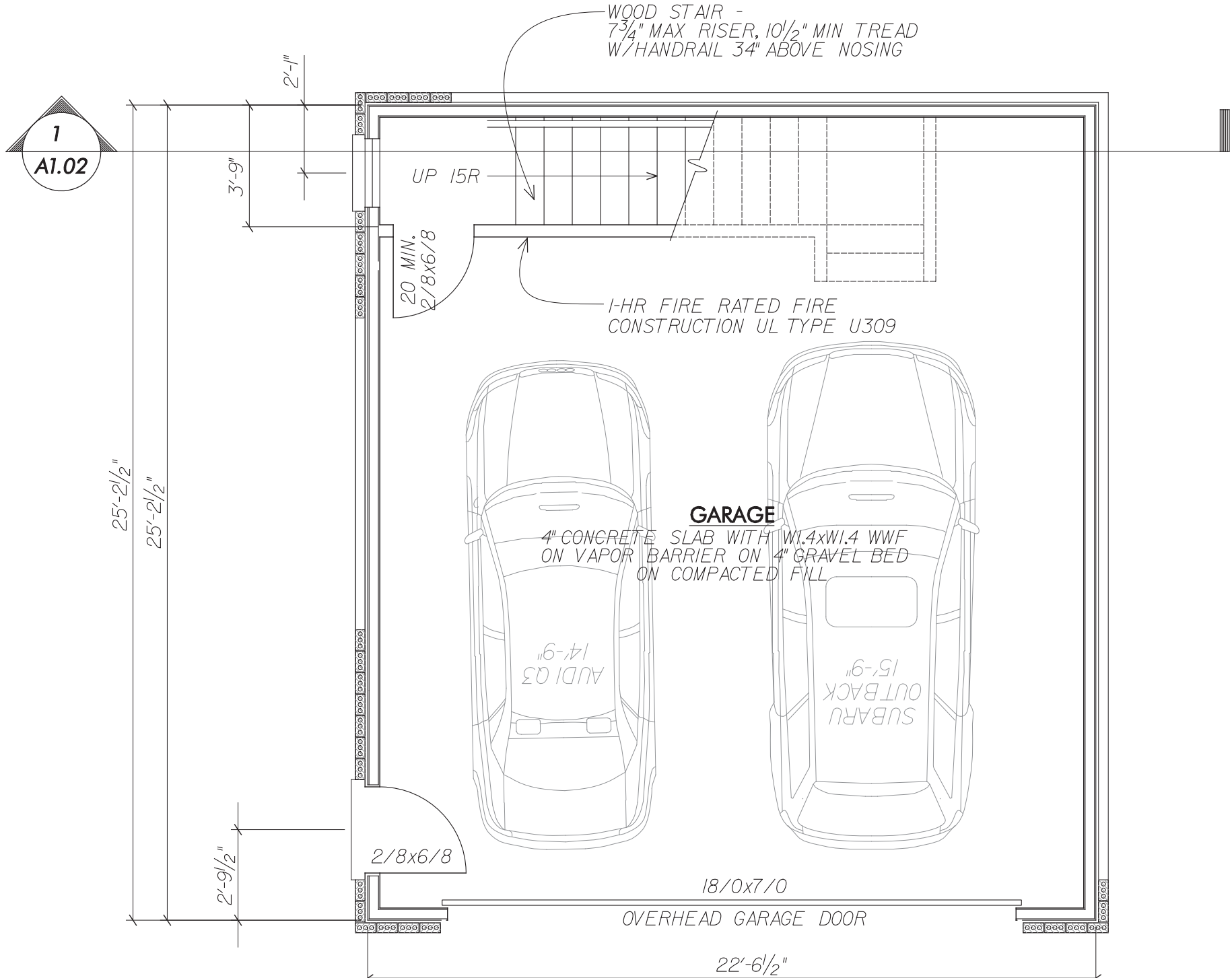
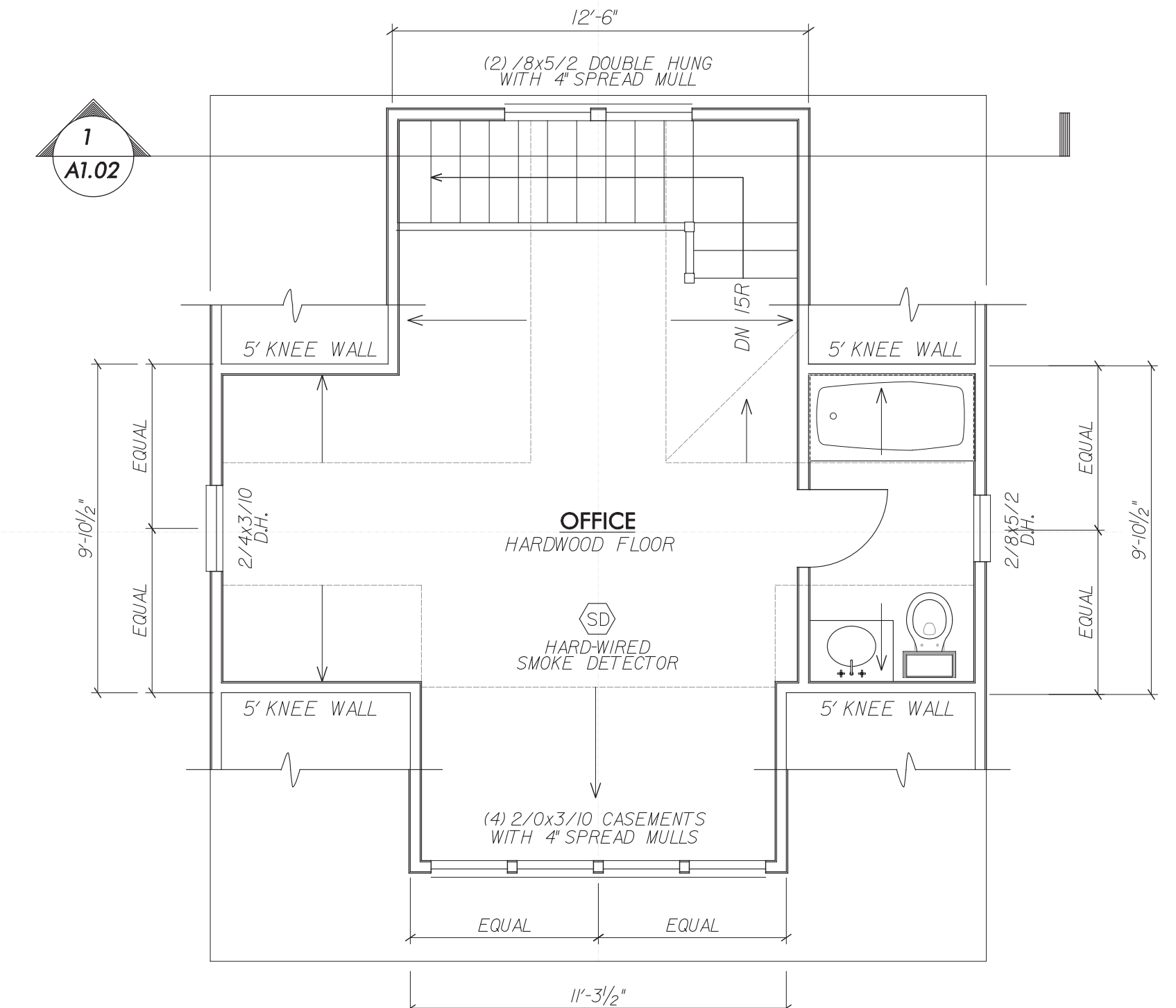
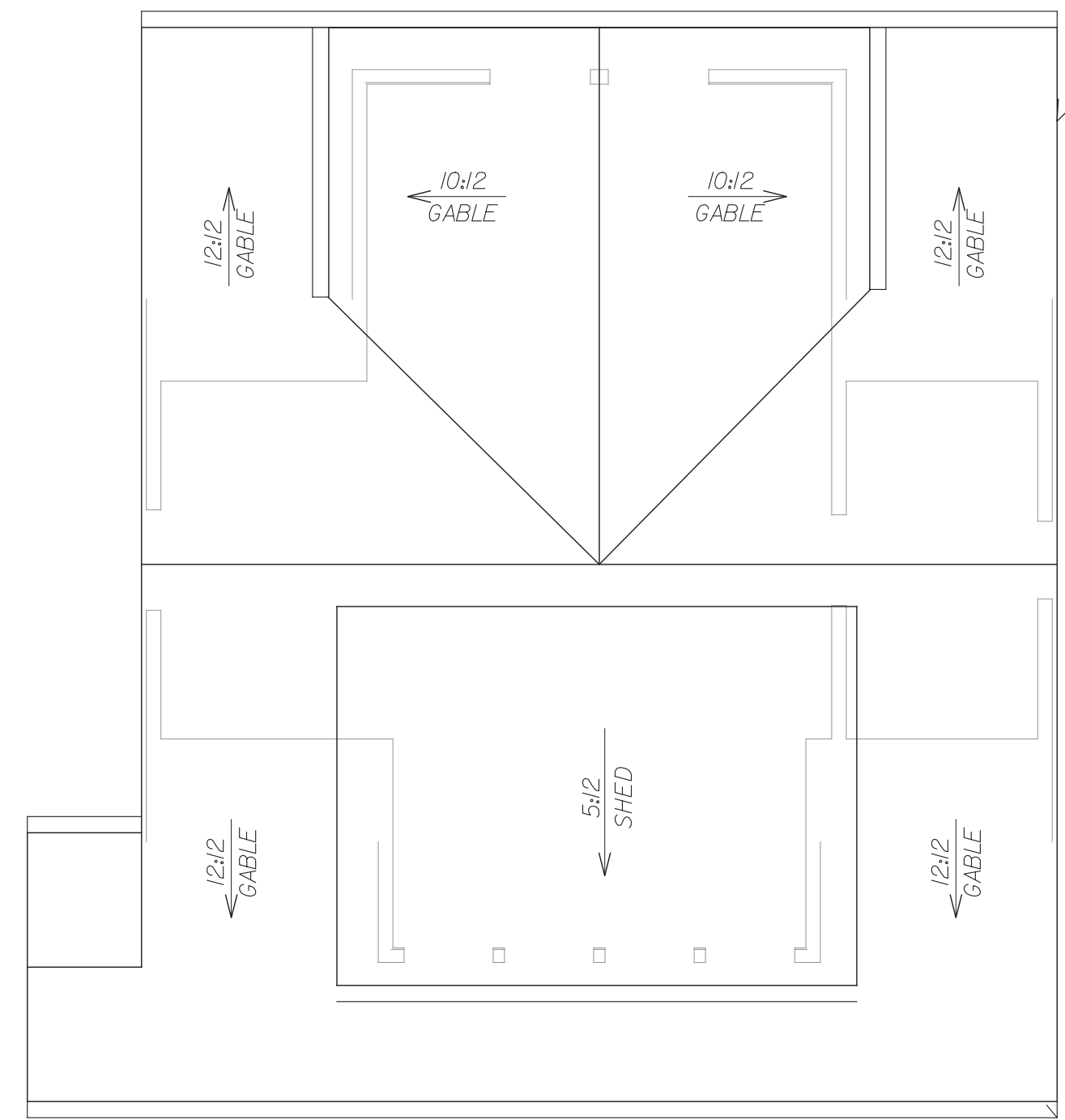
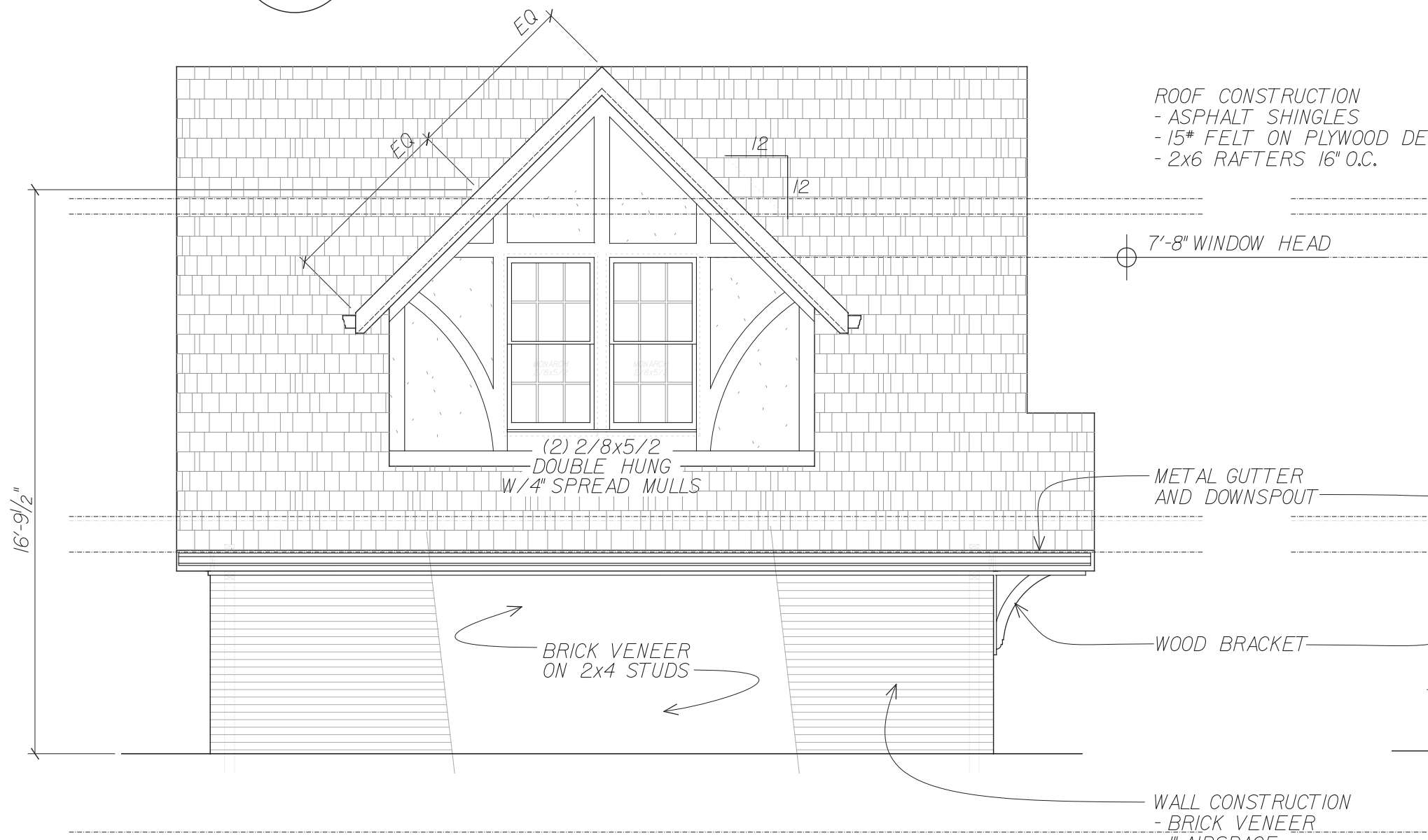
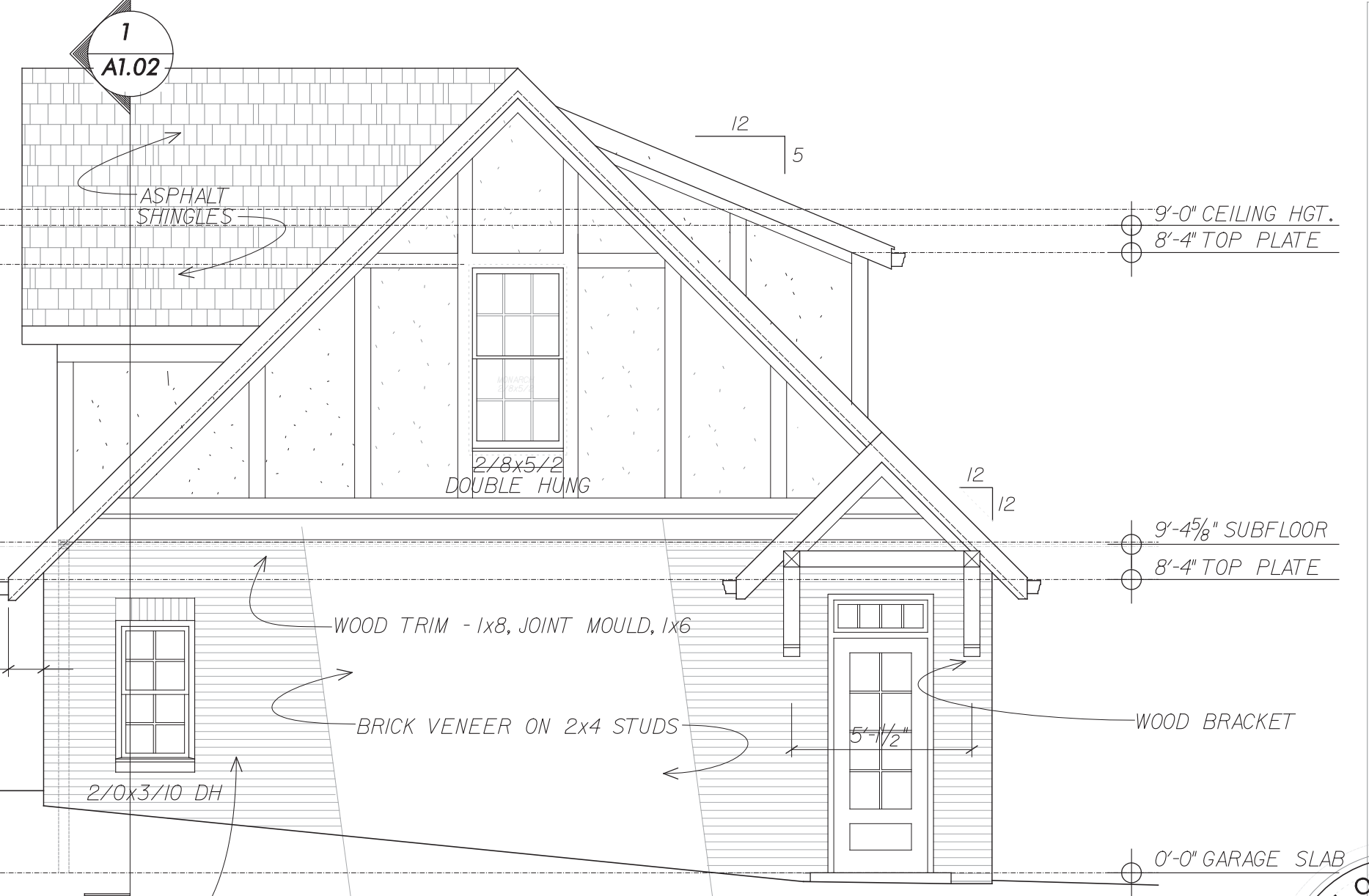
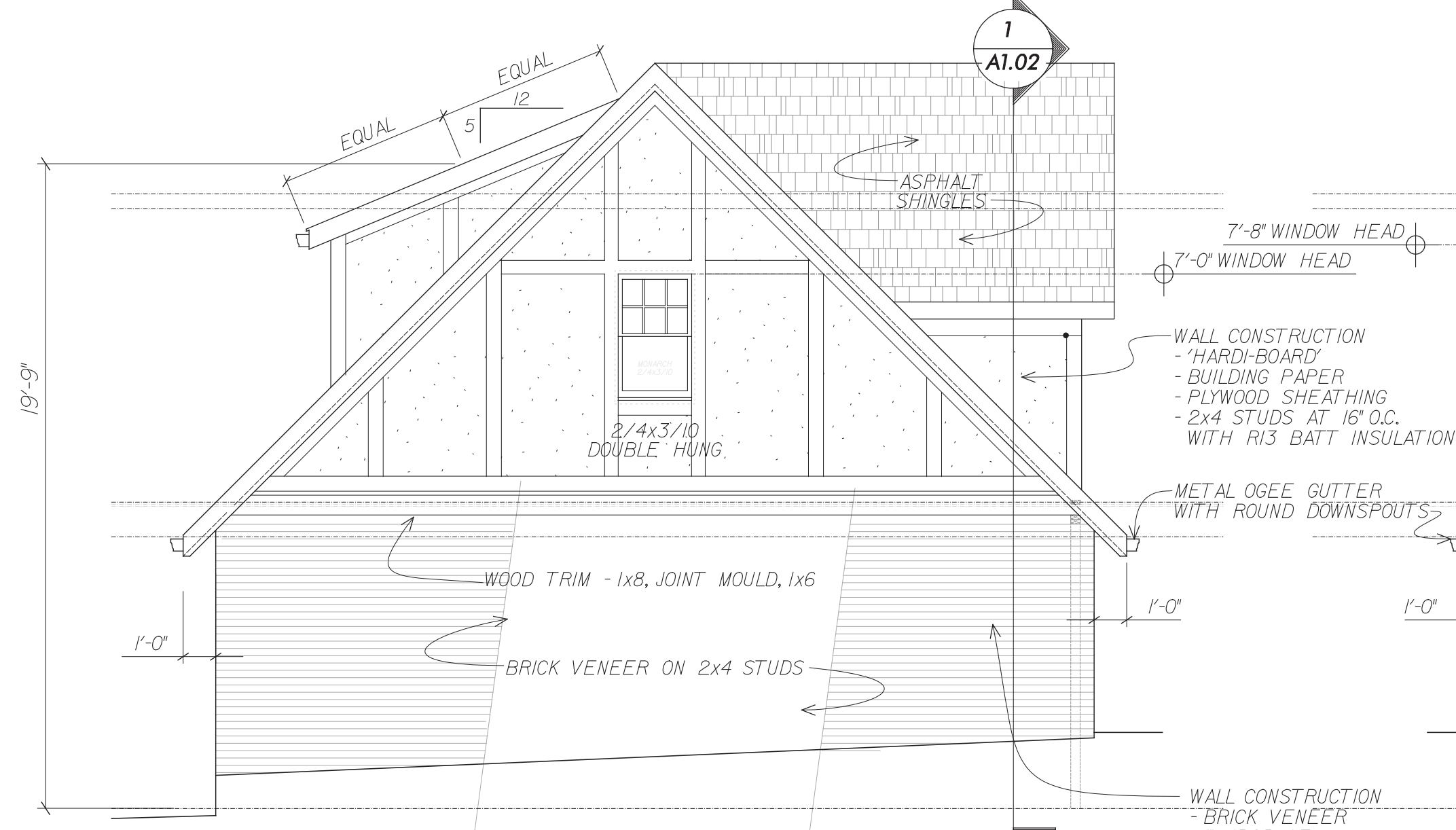
Ds1 DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1 A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2 DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2 ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3 DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3 ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS.

**Released for Construction**

LOT 33 BLOCK E PLAT OF ADDITION TO BLOCKS D AND E	SITE PLAN/VARIANCE PREPARED FOR: SHEET 3 OF 3
BRIARWOOD SUBDIVISION UNIT	KEVIN MILAM
LAND LOT 2 17TH DISTRICT SECTION	PROPERTY ADDRESS: 1164 McLYNN AVENUE NE ATLANTA, GA 30306
FULTON COUNTY, GEORGIA DB.51177/PG.262 PB.12/PG.137	24 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-9747
FIELD WORK DATE MAY 16, 2020 PRINTED/SIGNED JUN 16, 2020	INFORM@SURVEYLANDEXPRESS.COM
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE: 24" x 36"	<b>SURVEY LAND EXPRESS, INC</b> LAND SURVEYING SERVICES
AU COORD #20110234 DWG #20200911 SPX ADD	



V-20-108



ISSUED FOR CONSTRUCTION  
MARK ARNOLD, ARCHITECT  
© 2019  
404-599-8690  
mark@markarnold.com

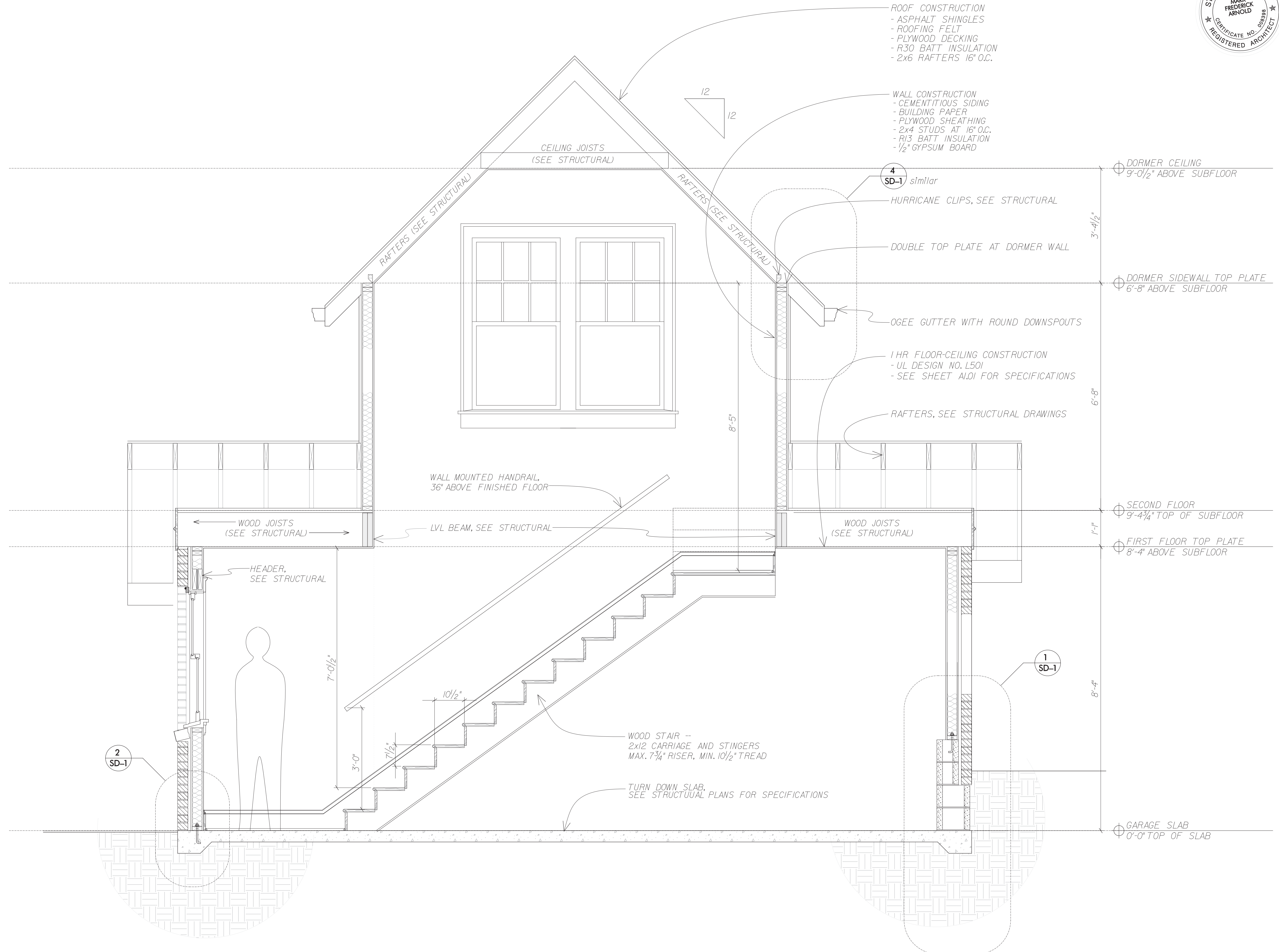
PROPOSED CARRIAGE HOUSE FOR  
JOHN & ELIZABETH ROTHERMEL RESIDENCE  
1164 McLYNN AVENUE, NE ATLANTA, GEORGIA 30306

PRINT DATE 07/07/20  
REVISIONS



SHEET  
A1.01  
PHASE

V-20-108



**01** WALL / BUILDING SECTION THRU STAIRCASE  
 A-1.02 SCALE: 3/4" = 1'-0"

MINIMUM DESIGN LOADS

- DESIGN LOADS ARE ALL DEAD LOADS PLUS THE FOLLOWING LIVE LOADS:
1.1. MAIN FLOORS @ PUBLIC AREAS 40 PSF
1.2. DECKS 40 PSF
1.3. PORCHES 40 PSF
1.4. STAIRS -- 1 & 2 FAMILY RESIDENCES 40 PSF
1.5. UNINHABITABLE ATTICS w/OUT STORAGE 10 PSF
1.6. UNINHABITABLE ATTICS w/ STORAGE 20 PSF
1.7. HABITABLE ATTICS 30 PSF
1.8. ELEVATED GARAGES: 2,000 LB POINT LOAD OVER 4'-0" x 4'-0" AREA AT ANY LOCATION OR 5 PSF

- WIND LOADS
2.1. BASIC WIND SPEED -- 3 SECOND GUST V\_0 = 115 MPH
2.2. IMPORTANCE FACTOR 1.0
2.3. WIND EXPOSURE CATEGORY B
2.4. DESIGN WIND PRESSURE FOR COMPONENTS & CLADDING
2.4.1. ROOF (ASD) -13.0+10.0 PSF
2.4.2. WALL (ASD) -14.0+13.6 PSF

GENERAL STRUCTURAL NOTES

- THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE DRAWINGS OF ALL OTHER DISCIPLINES AND THE SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF OTHER TRADES AS TO SLEEVES, CHANGES, HANGERS, INSERTS, ANCHORS, HOLES AND OTHER ITEMS TO BE PLACED OR SET IN THE STRUCTURAL WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK. THE ENGINEER WILL NOT ADVISE ON NOR ISSUE DIRECTIONS AS TO SAFETY PRECAUTIONS AND PROGRAMS.
3. THE STRUCTURAL DRAWINGS HEREIN REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL WORK AND CONNECTIONS HAVE BEEN COMPLETED.

WOOD FRAMING NOTES

- ALL WOOD FRAMING MATERIAL SHALL BE SURFACED DRY AND USED AT 19% MAXIMUM MOISTURE CONTENT.
1. ALL STUD AND WALL FRAMING SHALL BE EITHER NO. 2 GRADE SOUTHERN YELLOW PINE (SPY) OR NO. 2 GRADE SPRUCE-PINE-FIR (SPF).
3. ALL JOIST, RAFTER, AND MISCELLANEOUS FRAMING SHALL BE NO. 2 GRADE SOUTHERN YELLOW PINE. PROVIDE FULL-DEPTH (OR METAL) BRIDGING AT MID-SPAN AND AT A MAXIMUM SPACING OF 8'-0" O.C. IN BETWEEN.

FOUNDATIONS NOTES

- ALL FOOTINGS SHALL BEAR ON UNDISTURBED, FIRM, NATURAL SOIL OR ENGINEERED SOIL CAPABLE OF SUPPORTING A MINIMUM DESIGN BEARING PRESSURE OF 2,000 PSF UNLESS DATA TO SUBSTANTIATE THE USE OF A HIGHER VALUE ARE SUBMITTED AND APPROVED. ALL FOUNDATION EXCAVATIONS SHALL BE EVALUATED BY THE GEOTECHNICAL ENGINEER / TESTING AGENCY PRIOR TO POURING FOUNDATION CONCRETE.
2. ALL FOUNDATION CONCRETE SHALL OBTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
3. ALL REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60.
4. UNLESS NOTED OTHERWISE, MINIMUM CONCRETE COVER SHALL BE PROVIDED IN ACCORDANCE WITH ACI-2005 SECTION 7.7.1.

CAST-IN-PLACE CONCRETE NOTES

- CONCRETE MIXES SHALL BE DESIGNED PER ACI 301 USING PORTLAND CEMENT, AGGREGATES AND ADMIXTURES CONFORMING TO ASTM REQUIREMENTS. CONCRETE SHALL BE READY-MIXED IN ACCORDANCE WITH ASTM REQUIREMENTS.
2. CONCRETE SHALL CONFORM TO THE FOLLOWING COMPRESSIVE STRENGTH, SLUMP AND WATER/CEMENT RATIO REQUIREMENTS:
CONCRETE MIN. Fc (28 DAYS) SLUMP\* W/C RATIO
COLUMNIS 4,000 PSI 2" TO 4" .46
ELEVATED SLABS 4,000 PSI 2" TO 4" .46
CONCRETE NOT NOTED 3,000 PSI 2" TO 4" .50
FOUNDATION 3,000 PSI 2" TO 4" .50
SLABS-ON-GRADE 3,000 PSI 2" TO 4" .50

STRUCTURAL STEEL NOTES

- ALL STRUCTURAL STEEL SHALL CONFORM TO THE CURRENT EDITION OF THE 'MANUAL OF STEEL CONSTRUCTION' OF THE AISC.
2. UNLESS NOTED OTHERWISE, ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING ASTM SPECIFICATIONS:
MEMBER ASTM MIN. STRENGTH
STRUCTURAL TUBING A-500 (GRADE B) 46 KSI
ROLLED SHAPES A-992 50 KSI
PLATES A-36 36 KSI
CONNECTION BOLTS A-325 (MIN. TYPE N) 92 KSI
ANCHOR BOLTS F1554 36 KSI
THREADED ROOFS A-36 36 KSI
NONSHRINK GROUT C-1107 8,000 PSI

MASONRY NOTES

- MASONRY CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE 'SPECIFICATIONS FOR MASONRY STRUCTURES' (ACI 305) PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE.
2. HOLLOW LOAD-BEARING MASONRY UNITS SHALL CONFORM TO ASTM REQUIREMENTS. THE MINIMUM PRISM COMPRESSIVE STRENGTH (f'm) SHALL BE 1,550 PSI AT AN AGE OF 28 DAYS, AS DETERMINED BY THE UNIT STRENGTH METHOD OF ACI 530.
3. FILL ALL BOND BEAMS AND REINFORCED CELLS SOLIDLY WITH GROUT. GROUT SHALL CONFORM TO ASTM REQUIREMENTS AND SHALL OBTAIN A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2,500 PSI.

PRE-FABRICATED WOOD JOIST NOTES

- PRE-FABRICATED WOOD I-JOISTS SHALL BE DESIGNED AND FINISHED IN ACCORDANCE WITH A CURRENT CODE-ACCEPTED EVALUATION REPORT. STRUCTURAL CAPACITIES AND DESIGN PROVISIONS SHALL BE ESTABLISHED AND MONITORED IN ACCORDANCE WITH ASTM D-5055.
2. WOOD I-JOISTS SHALL BE ERECTED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY AND PERMANENT BRACING AS REQUIRED FOR SAFE ERECTION AND PERFORMANCE OF THE JOISTS.
3. WOOD I-JOIST SHALL NOT BE CUT, NOTCHED, COPEd, DRILLED, NOR OTHERWISE ALTERED IN ANY WAY UNLESS SPECIFICALLY CONDUCTED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN REQUIREMENTS. DO NOT CUT FLANGES.

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

IF ANY CONNECTIONS DESCRIBED IN THESE PLANS & DETAILS DIFFER FROM WHAT IS SHOWN ON TABLE BELOW, THE PLANS & DETAILS SHALL CONTROL.

Table with 4 columns: DESCRIPTION OF BUILDING ELEMENTS, NUMBER & TYPE OF FASTENERS, SPACING OF FASTENERS, and a sub-column for EDGES (INCHES) and INTERMEDIATE SUPPORTS (INCHES). Rows include blocking between joists, ceiling joists to plate, ceiling joists to rafter, roof rafters to ridge, etc.

WOOD FRAMING NOTES

- WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING TO FRAMING, AND PARTICLEBOARD WALL SHEATHING TO FRAMING
32. 1/2" - 1/2" 6d COMMON (2" x 0.131") NAIL (SUBFLOOR, WALL) & 8d COMMON (2 1/2" x 0.131") NAIL (ROOF)
34. 1/2" - 1/2" 10d COMMON (3" x 0.148") NAIL OR 8d (2 1/2" x 0.131") DEFORMED NAIL

WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING

Table with 4 columns: SIZE OF STEEL ANGLE (INCHES), NO STORY ABOVE, ONE STORY ABOVE, TWO STORIES ABOVE. Rows include 3x3/4", 4x3/4", 5x3/4", 6x3/4", and 2x6x3/4" steel angles.

- FOR SIZE: 1 INCH = 25.4 mm, 1 FOOT = 304.8 mm, 1 MILE PER HOUR = 0.447 m/s; 1 KSI = 6.895 MPa
a. ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS SHOWN: 80 KSI FOR SHANK DIAMETER OF 0.132 INCH (20d COMMON NAIL), 90 KSI FOR SHANK DIAMETERS LARGER THAN 0.142 INCH BUT NOT LARGER THAN 0.177 INCH, AND 100 KSI FOR SHANK DIAMETERS OF 0.142 INCH OR LESS.
b. STAPLES ARE 16 GAGE WIRE AND HAVE A MINIMUM 7/8-INCH ON DIAMETER CROWN WIDTH.

Table with 4 columns: DESCRIPTION OF BUILDING ELEMENTS, NUMBER & TYPE OF FASTENERS, SPACING OF FASTENERS, and a sub-column for EDGES (INCHES) and INTERMEDIATE SUPPORTS (INCHES). Rows include ledger strip supporting joists or rafters, wood structural panels, subfloor, roof and wall sheathing, etc.

WOOD FRAMING NOTES

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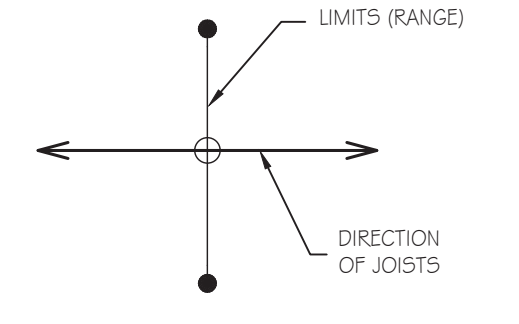
KOBLASZ & KENNISON ENGINEERING, P.C.

333 CREEKSTONE RIDGE WOODSTOCK, GEORGIA 30188

404 | 860 | 2600

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CARRIAGE HOUSE 1164 MCLYNN AVE NE ATLANTA, GEORGIA 30306



ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER

Table with 4 columns: SIZE OF STEEL ANGLE (INCHES), NO STORY ABOVE, ONE STORY ABOVE, TWO STORIES ABOVE. Rows include 3x3/4", 4x3/4", 5x3/4", 6x3/4", and 2x6x3/4" steel angles.

\* LONG LEG OF THE ANGLE SHALL BE PLACED IN A VERTICAL POSITION

SUBMITTALS:

Table with 2 columns: DATE, DESCRIPTION. Row: 07-02-2020, STRUCTURAL DESIGN ISSUED.

SHEET TITLE:

STRUCTURAL DESIGN NOTES

JOB NUMBER: 20322 ENGINEER: RSL CHECKED BY: GHK STAMP:



SHEET NUMBER: S-0

V-20-108

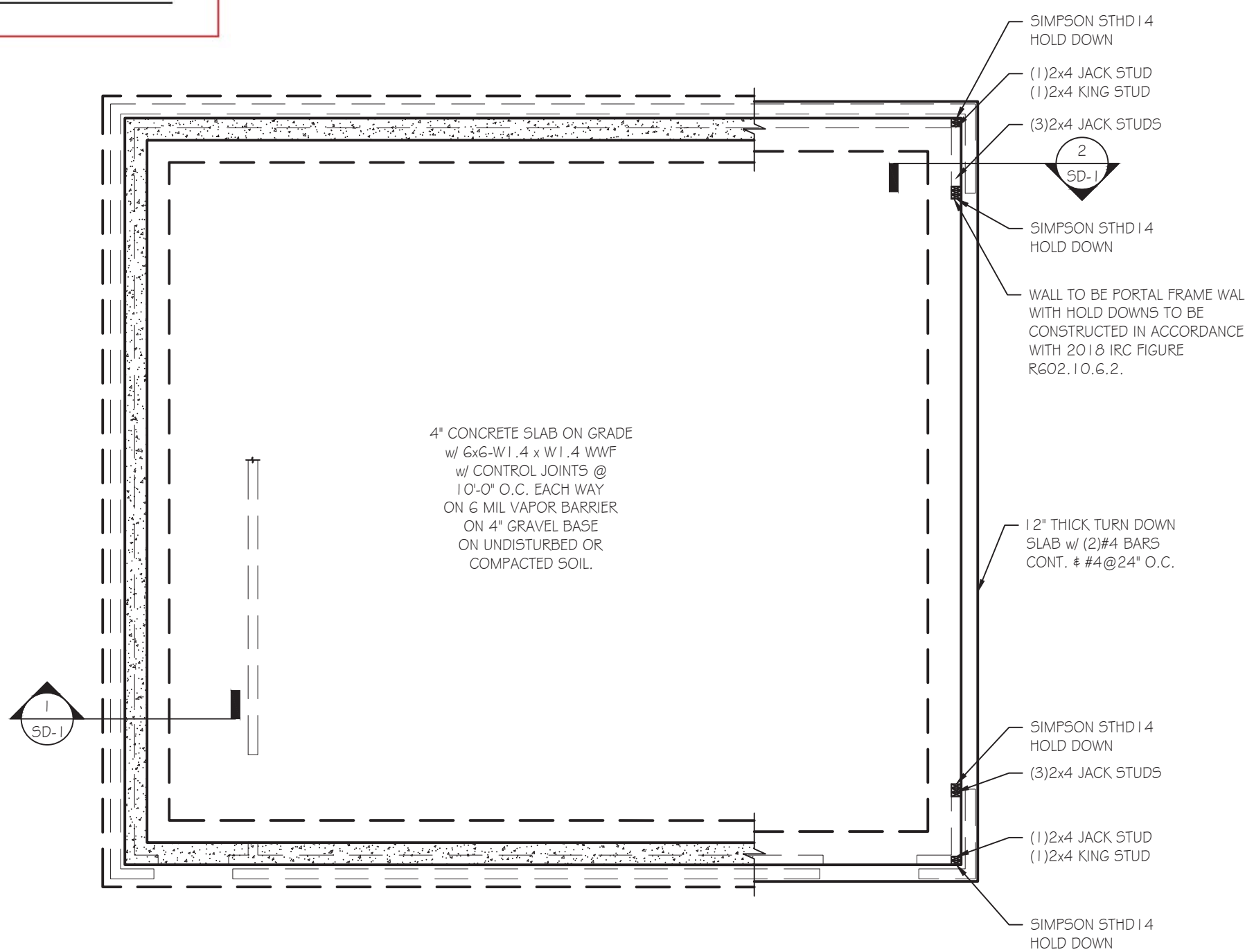
PACKED STUD SCHEDULE (APPLIES IF COL. IS NOT SPECIFIED ON PLAN)	
(2)2x6	(2)PLY BEAM
(3)2x6	(3)PLY BEAM
(4)2x6	(4)PLY BEAM

2ND LEVEL FLOOR DESIGN LOADS	
40 PSF	LIVE LOAD
10 PSF	DEAD LOAD

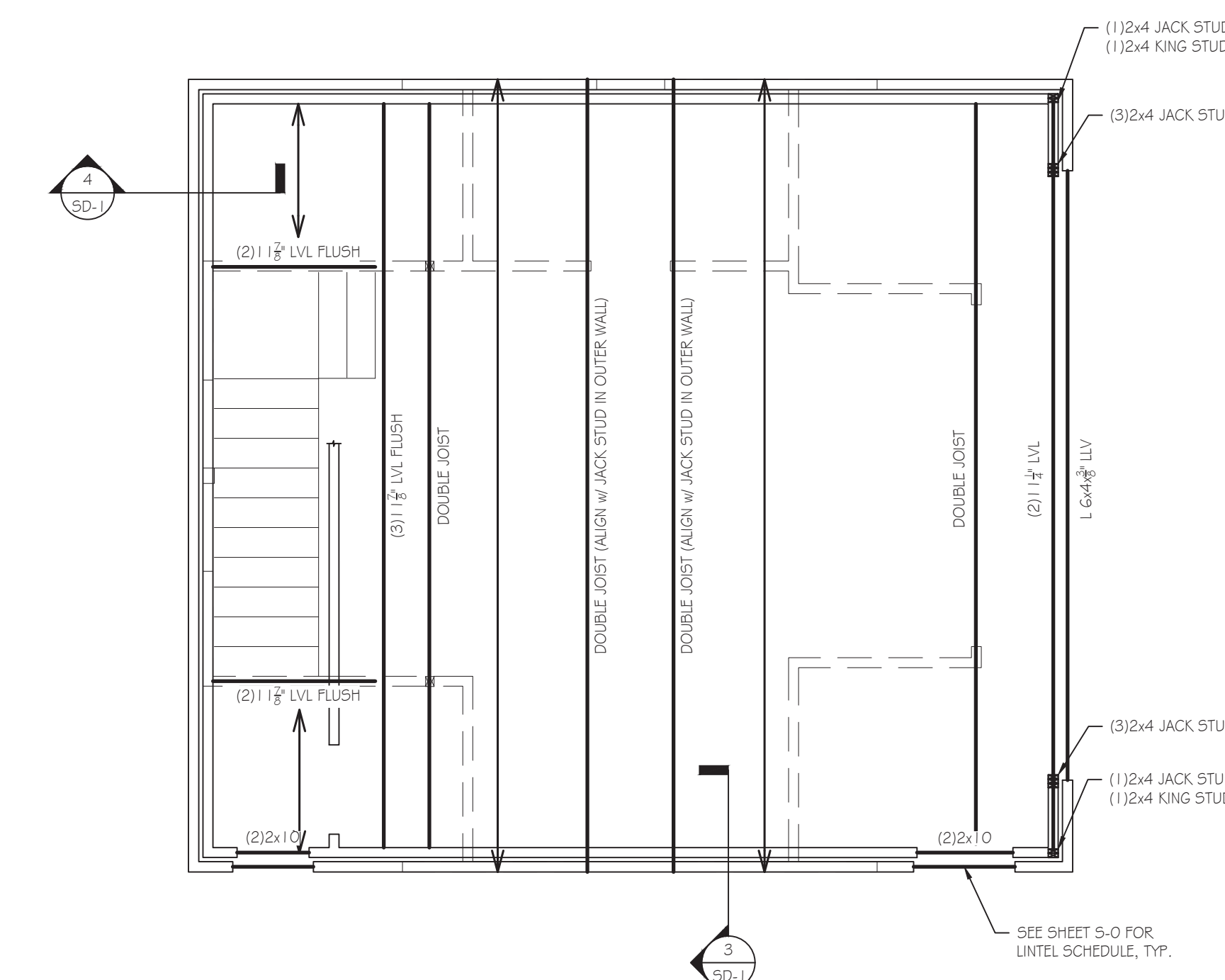
CEILING DESIGN LOADS	
0 PSF	LIVE LOAD
5 PSF	DEAD LOAD

ROOF DESIGN LOADS	
20 PSF	LIVE LOAD
10 PSF	DEAD LOAD

LEGEND	
FOOTINGS	
FOUNDATION WALLS	
COLUMNS	
COLUMNS ABOVE	
STUD WALLS ABOVE	
STUD WALLS BELOW	
HEADERS OR BEAMS	
JOISTS	
BEAMS BELOW	
ROOF FRAMING	
1ST LEVEL WALLS (OUTSIDE FOOTING OF 2ND LVL)	



**1**  
S-1  
FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



**2**  
S-1  
2ND LEVEL FRAMING PLAN  
SCALE: 1/4" = 1'-0"

**FOUNDATION NOTES:**

- FOUNDATION DESIGNED BASED ON ASSUMED 2000 PSF ALLOWABLE SOIL BEARING CAPACITY.
- SOLE / SILL PLATES TO BE ANCHORED TO THE FOUNDATION WITH #8 ANCHOR BOLTS @ A MAXIMUM OF 6'-0" O.C. MINIMUM (2) BOLTS PER PLATE SECTION AND (1) BOLT WITHIN 12" FROM END OF PLATE SECTION. MINIMUM 7" EMBEDMENT INTO MASONRY OR CONCRETE.
- SEE SHEET S-0 FOR ADDITIONAL NOTES.

**LUMBER & TIMBER NOTES:**

- ALL 2x4, 2x6, 2x8 LUMBER SHALL BE SYP #2. ALL 2x10, 2x12 LUMBER SHALL BE SYP #2, UNLESS NOTED OTHERWISE (U.N.O.).
- ALL 6x, 8x, 10x, 12x TIMBER SHALL BE SYP #2 OR DF #2, U.N.O.
- ALL LVL (LAMINATED VENEER LUMBER) SHALL BE 1 1/2" PLY THICKNESS, E ≥ 2.0x10<sup>6</sup> PSI, F<sub>v</sub> ≥ 2,600 PSI, F<sub>t</sub> ≥ 285 PSI.

**ENTRY LEVEL WALL FRAMING NOTES:**

- STUD WALLS TO BE 2x4 @ 16" O.C. w/ 9'-0" MAXIMUM STUD HEIGHT, U.N.O.
- WINDOW & DOOR HEADERS IN LOAD BEARING WALLS w/ SPANS ≤ 2'-7" SHALL HAVE (1)2x6 JACK STUD, SPANS > 2'-7" SHALL HAVE (2)2x6 JACK STUDS, U.N.O.
- INTERIOR LOAD BEARING WALLS TO BE BLOCKED AT MID-POINT.
- EXTERIOR WALLS TO BE FULLY SHEATHED w/ 1/2" APA RATED SHEATHING ATTACHED w/ 10d NAILS @ 6" O.C. AT PANEL EDGES & 12" O.C. AT INTERMEDIATE MEMBERS. PROVIDE BLOCKING BETWEEN STUDS AT PANEL EDGES.
- ALL STUDS TO BE CONTINUOUS BETWEEN DIAPHRAGMS.
- ALL COLUMNS TO BE BRACED AT TOP & BOTTOM. ALL CONTINUOUS COLUMNS TO BE BRACED AT EACH FLOOR LEVEL.

**2ND FLOOR FRAMING NOTES:**

- ALL FLOOR JOISTS TO BE 1 1/2" TJI 560 @ 16" O.C., U.N.O.
- LVL & DIMENSIONAL LUMBER BEAMS TO BE CONNECTED AS FOLLOWS:
  - (2)PLY: (2)ROWS OF 10d NAILS @ 12" O.C. IN EACH ROW, DRIVEN FROM ONE SIDE.
  - (3)PLY: (2)ROWS OF SIMPSON 5" SDW22 SCREWS @ 16" O.C. IN EACH ROW, DRIVEN FROM ONE SIDE.
  - (4)PLY: (2)ROWS OF SIMPSON 6 3/8" SDW22 SCREWS @ 16" O.C. IN EACH ROW, DRIVEN FROM ONE SIDE.
- FLOOR DECKING TO BE 1/2" APA RATED STURD-I-FLOOR 24 OC ADHERED PER JOIST MANUFACTURER TO ENSURE COMPOSITE ACTION & ATTACHED w/ 10d NAILS @ 6" O.C. AT PANEL EDGES & 12" O.C. AT INTERMEDIATE MEMBERS.
- WHERE JOISTS ARE PARALLEL TO EXTERIOR WALLS, PROVIDE FULL DEPTH BLOCKING @ 24" O.C. IN 1ST BAY TO BRACE WALL.
- THE ENDS OF ALL BEAMS & JOISTS ARE TO BE RESTRAINED TO PREVENT ROTATION. ALL FLUSH BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE SIDES. ALL DROPPED BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE TOP FACE.
- LAP JOISTS BY THE THICKNESS OF BEARING WALL (MIN. 3") & DO NOT EXTEND BEYOND THE WALL, U.N.O.
- IN FLOOR CAVITIES PROVIDE BLOCKING UNDER ALL CONCENTRATED LOADS & AT ALL BEAMS & HEADERS.
- WHERE REQUIRED PROVIDE ADEQUATE & PROPER FLASHING AGAINST WATER INTRUSION.

**HANGER NOTES:**

- ALL JOISTS TO HAVE SIMPSON IUS HANGERS & SHALL MATCH JOIST DEPTH & FLANGE WIDTH.
- ALL DIMENSIONAL LUMBER HANGERS SHALL BE SIMPSON LUS FOR (1)PLY, IUS FOR (2)PLY, I1U FOR (3)PLY & SHALL MATCH LUMBER DEPTH.
- ALL LVL HANGERS SHALL BE SIMPSON I1US FOR (1)PLY, I11US FOR (2)PLY, I111US FOR (3)PLY, I111US FOR (4)PLY & SHALL MATCH LVL DEPTH.
- ALL HANGERS SUPPORTING P.T. MATERIAL OR EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.

**2ND LEVEL WALL (BELOW CEILING) FRAMING NOTES:**

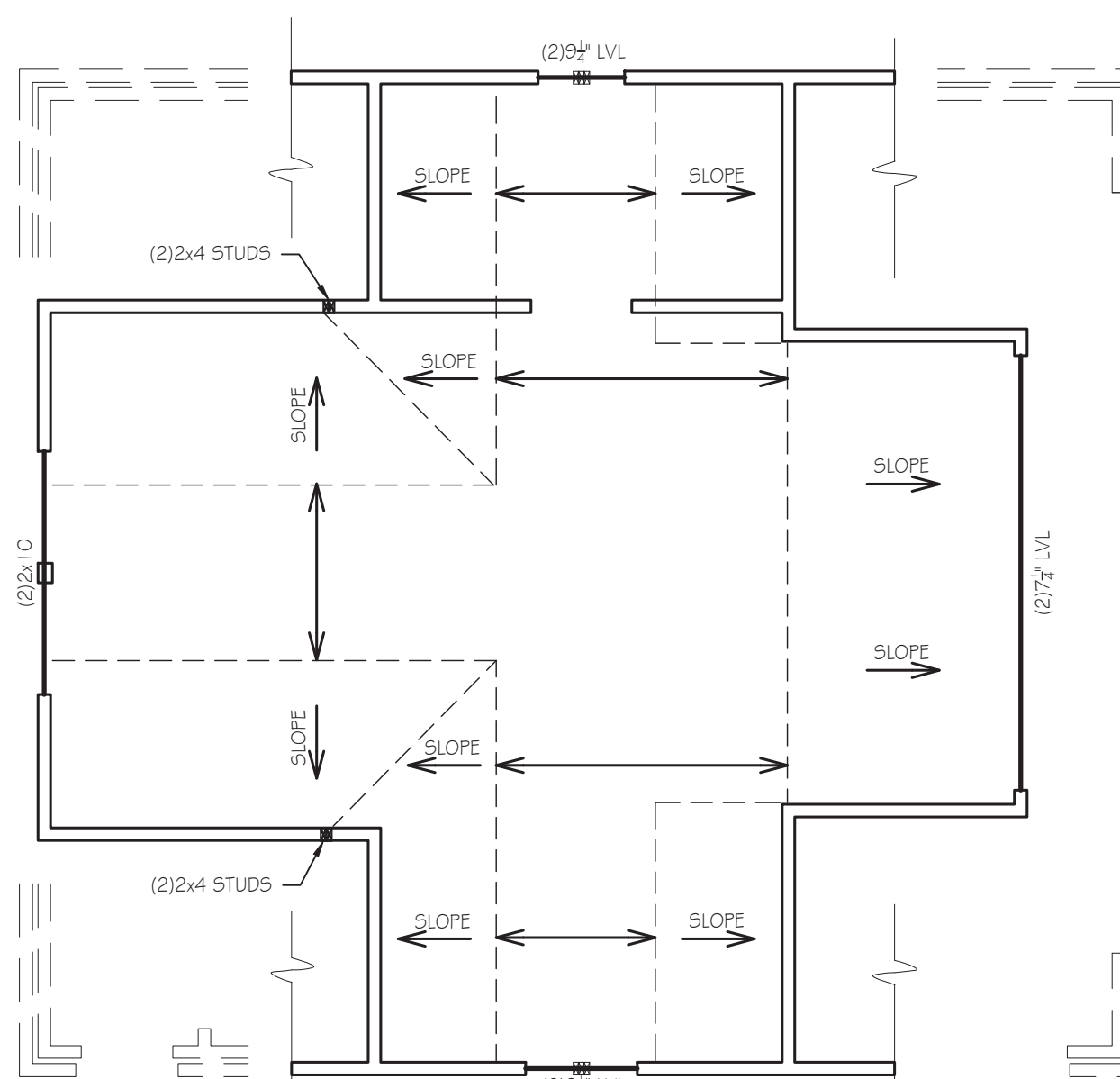
- STUD WALLS TO BE 2x4 OR 2x6 @ 16" O.C. w/ 10'-0" MAXIMUM STUD HEIGHT, U.N.O.
- WINDOW & DOOR HEADERS IN LOAD BEARING WALLS w/ SPANS ≤ 4'-8" SHALL HAVE (1)2x6 JACK STUD, SPANS > 4'-8" SHALL HAVE (2)2x6 JACK STUDS, U.N.O.
- INTERIOR LOAD BEARING WALLS TO BE BLOCKED AT MID-POINT.
- EXTERIOR WALLS TO BE FULLY SHEATHED w/ 1/2" APA RATED SHEATHING ATTACHED w/ 10d NAILS @ 6" O.C. AT PANEL EDGES & 12" O.C. AT INTERMEDIATE MEMBERS. PROVIDE BLOCKING BETWEEN STUDS AT PANEL EDGES.
- ALL STUDS TO BE CONTINUOUS BETWEEN DIAPHRAGMS. STUDS IN GABLE-END WALLS NOT BRACED BY A CEILING SYSTEM MUST BE CONTINUOUS FROM FLOOR TO ROOF.
- ALL COLUMNS TO BE BRACED AT TOP & BOTTOM. ALL CONTINUOUS COLUMNS TO BE BRACED AT EACH FLOOR LEVEL.

**CEILING FRAMING NOTES:**

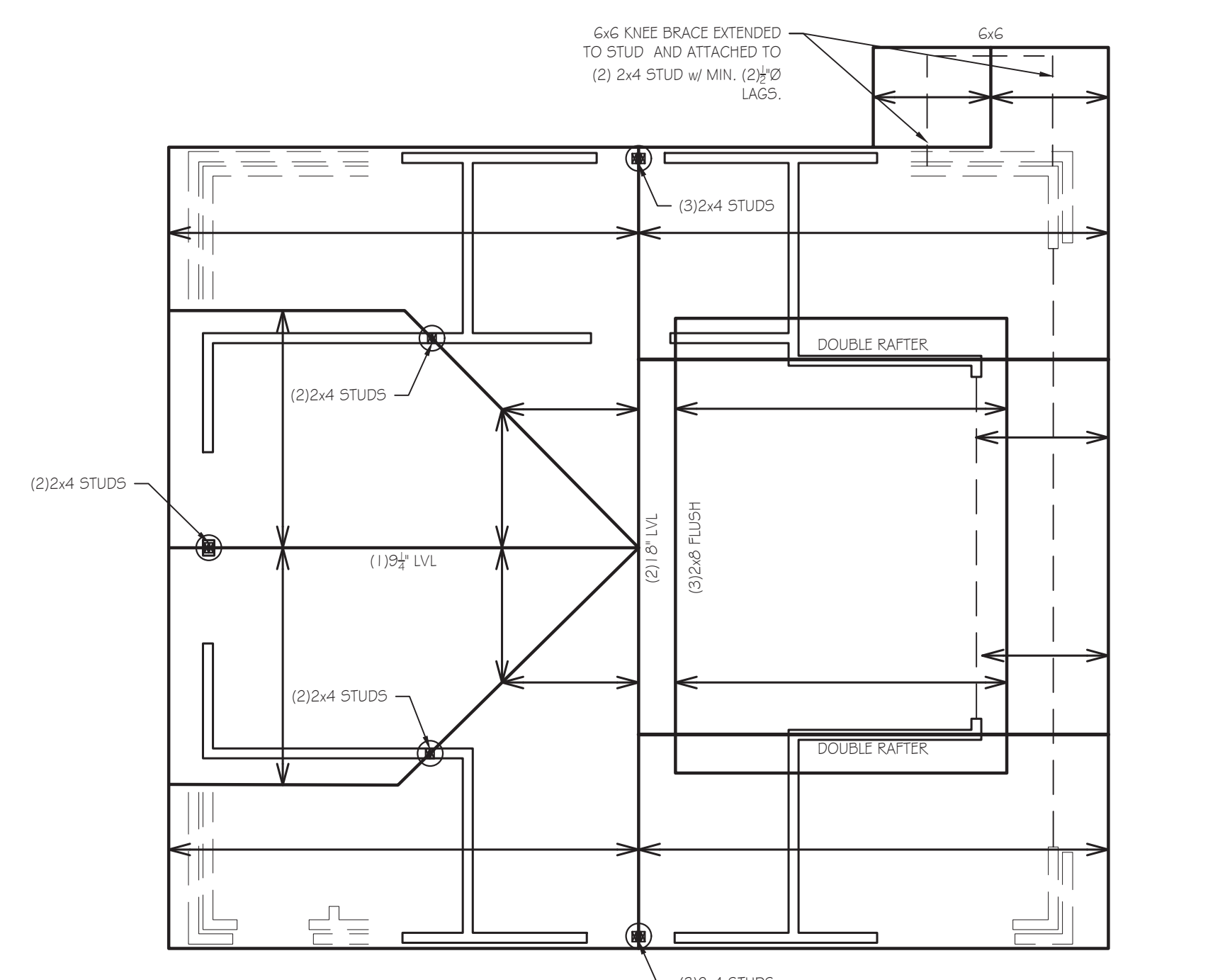
- ALL CEILING JOISTS TO BE 2x6 @ 16" O.C., U.N.O.
- CONNECT CEILING JOISTS TO RAFTERS w/ A MIN. OF (5) 10d NAILS, U.N.O.
- LVL & DIMENSIONAL LUMBER BEAMS TO BE CONNECTED AS FOLLOWS:
  - (2)PLY: (2)ROWS OF 10d NAILS @ 12" O.C. IN EACH ROW, DRIVEN FROM ONE SIDE.
  - (3)PLY: (2)ROWS OF SIMPSON 5" SDW22 SCREWS @ 16" O.C. IN EACH ROW, DRIVEN FROM ONE SIDE.
  - (4)PLY: (2)ROWS OF SIMPSON 6 3/8" SDW22 SCREWS @ 16" O.C. IN EACH ROW, DRIVEN FROM ONE SIDE.
- WHERE JOISTS ARE PARALLEL TO EXTERIOR WALLS, PROVIDE FULL DEPTH BLOCKING @ 24" O.C. IN 1ST BAY TO BRACE WALL.
- THE ENDS OF ALL BEAMS & JOISTS ARE TO BE RESTRAINED TO PREVENT ROTATION. ALL FLUSH BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE SIDES. ALL DROPPED BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE TOP FACE.
- LAP JOISTS BY THE THICKNESS OF BEARING WALL (MIN. 3") & DO NOT EXTEND BEYOND THE WALL, U.N.O.
- IN CEILING CAVITIES PROVIDE BLOCKING UNDER ALL CONCENTRATED LOADS & AT ALL BEAMS & HEADERS.
- WHERE REQUIRED PROVIDE ADEQUATE & PROPER FLASHING AGAINST WATER INTRUSION.

**ROOF FRAMING NOTES:**

- ALL RAFTERS TO BE 2x8 @ 16" O.C., U.N.O.
- ALL HIP, VALLEY & RIDGE BOARDS TO BE (1)2x12, U.N.O.
- ROOF DECKING TO BE 1/2" APA RATED SHEATHING ATTACHED w/ 10d NAILS @ 6" O.C. AT SUPPORTED EDGES & 12" O.C. AT INTERMEDIATE MEMBERS.
- ALL RAFTERS THAT ARE LABELED 'OVER-FRAMING' SHALL BE EITHER BRACED AT THE TOP OR FULLY SHEATHED.
- CONNECT CEILING JOISTS TO RAFTERS w/ A MIN. OF (5) 10d NAILS, U.N.O.
- ONLY BRACE PURLINS & RAFTERS ON CEILING BEAMS OR LOAD BEARING WALLS.
- LVL & DIMENSIONAL LUMBER BEAMS TO BE CONNECTED AS FOLLOWS:
  - (2)PLY: (2)ROWS OF 10d NAILS @ 12" O.C. IN EACH ROW, DRIVEN FROM ONE SIDE.
  - (3)PLY: (2)ROWS OF SIMPSON 5" SDW22 SCREWS @ 16" O.C. IN EACH ROW, DRIVEN FROM ONE SIDE.
  - (4)PLY: (2)ROWS OF SIMPSON 6 3/8" SDW22 SCREWS @ 16" O.C. IN EACH ROW, DRIVEN FROM ONE SIDE.
- THE ENDS OF ALL BEAMS & RAFTERS ARE TO BE RESTRAINED TO PREVENT ROTATION. ALL FLUSH BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE SIDES. ALL DROPPED BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE TOP FACE.
- WHERE REQUIRED PROVIDE ADEQUATE & PROPER FLASHING AGAINST WATER INTRUSION.



**3**  
S-1  
CEILING LEVEL FRAMING PLAN  
SCALE: 1/4" = 1'-0"



**4**  
S-1  
ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

**KOBLASZ & KENNISON**  
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1164 MCLYNN AVENUE  
ATLANTA, GEORGIA 30306

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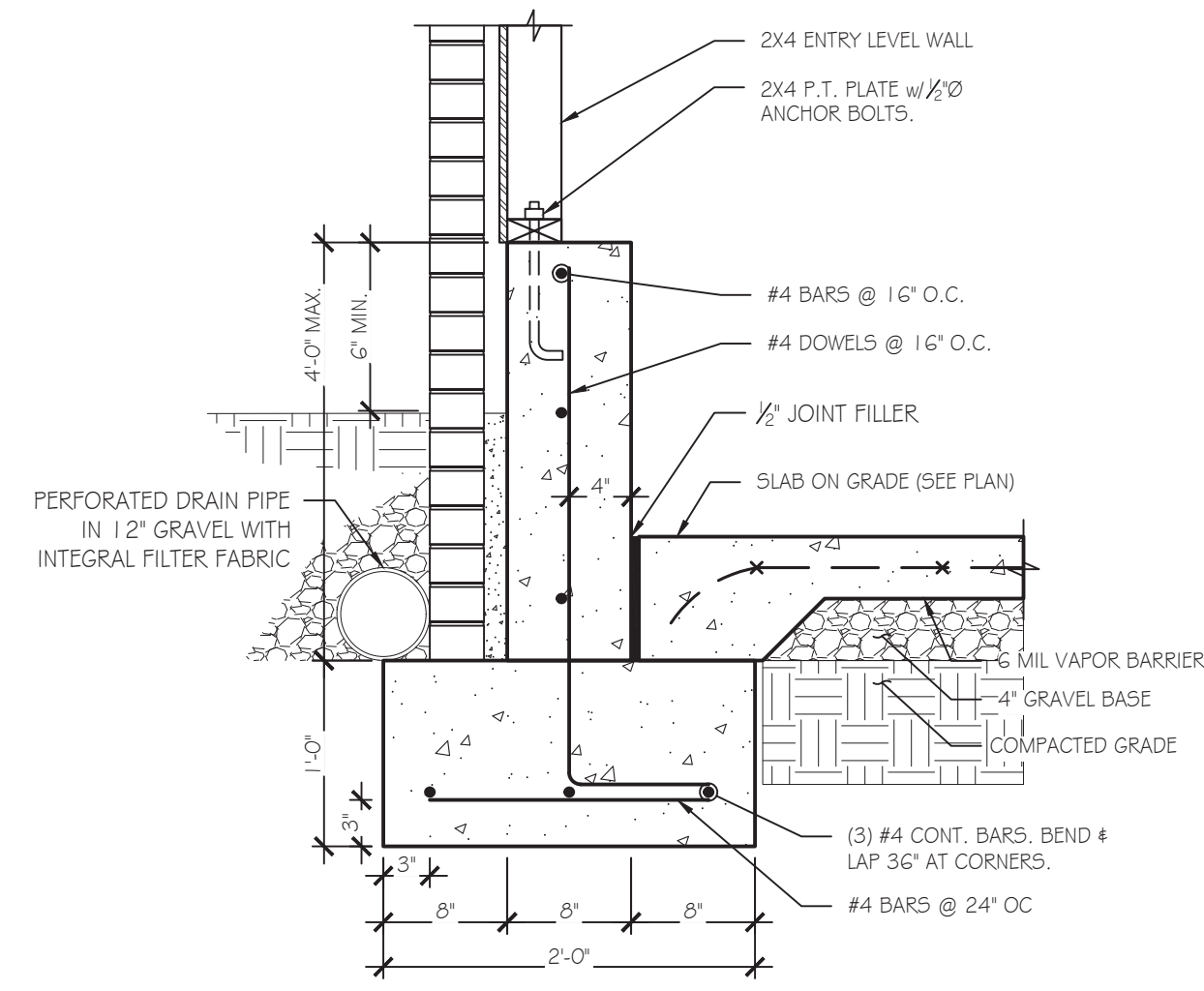
DATE	DESCRIPTION
07-02-2020	STRUCTURAL DESIGN ISSUED

**SHEET TITLE:**  
FOUNDATION PLAN

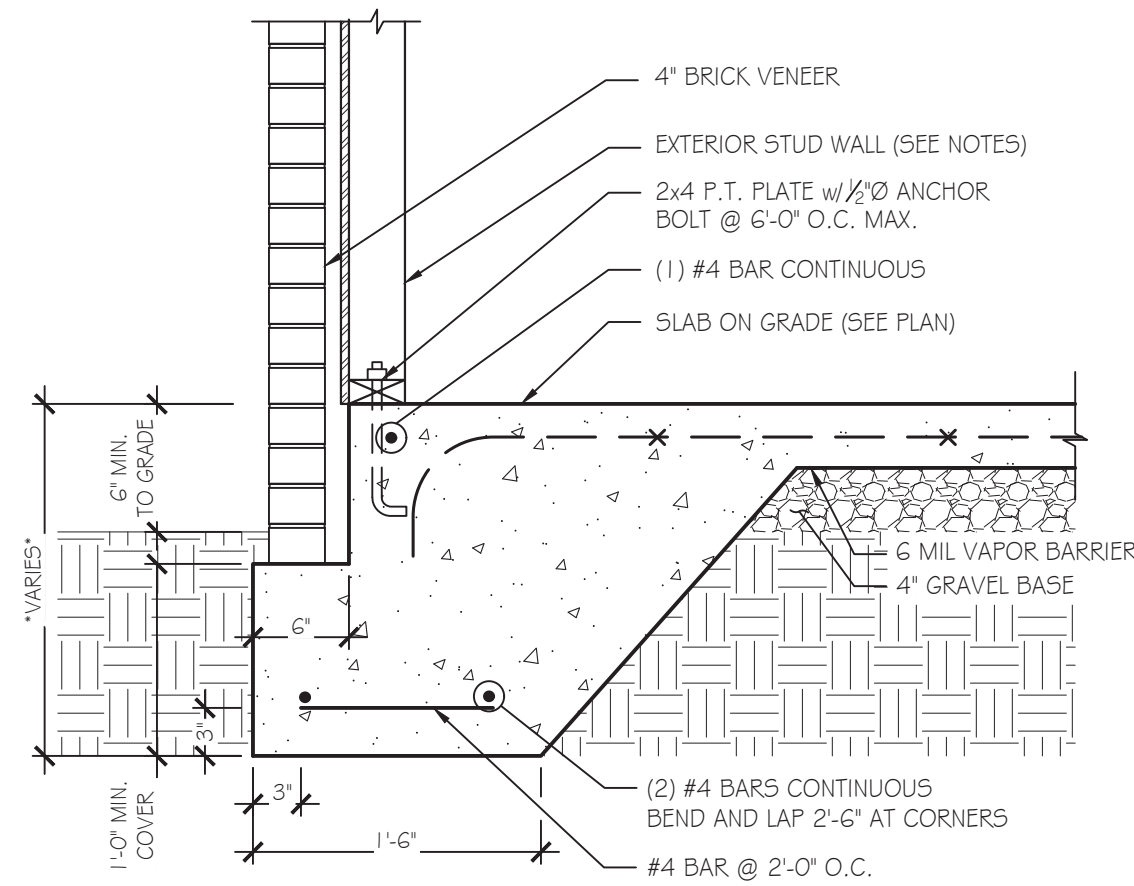
JOB NUMBER: 20322  
ENGINEER: RSL  
CHECKED BY: GHK



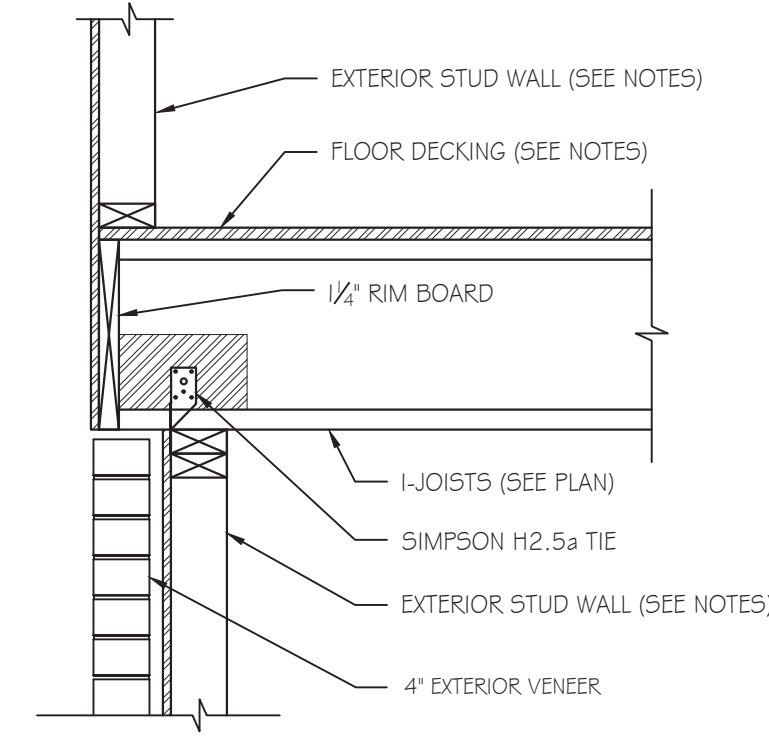
SHEET NUMBER:  
**S-1**



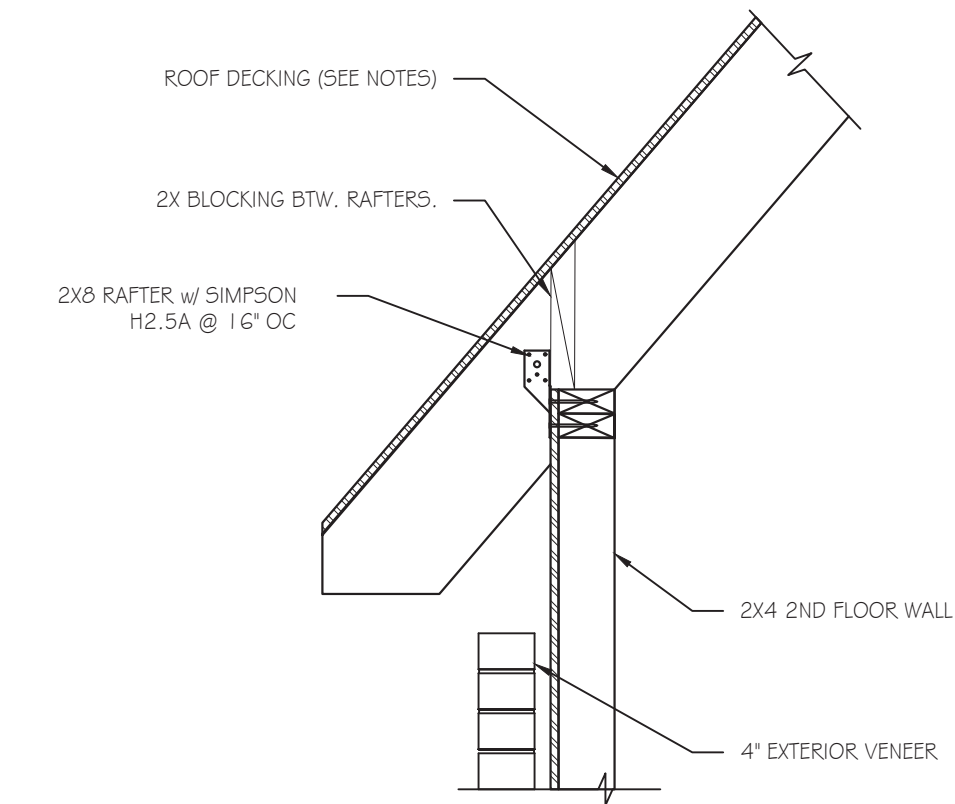
1 SECTION  
SD-1 SCALE: 1" = 1'-0"



2 SECTION  
SD-1 SCALE: 1" = 1'-0"



3 SECTION  
SD-1 SCALE: 1" = 1'-0"



4 SECTION  
SD-1 SCALE: 1" = 1'-0"



V-20-108

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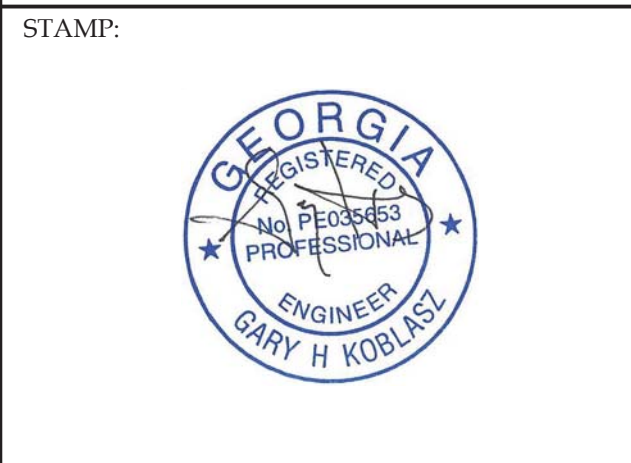
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SUBMITTALS:	
DATE	DESCRIPTION
07-02-2020	STRUCTURAL DESIGN ISSUED

SHEET TITLE:  
**STRUCTURAL  
DETAILS**

JOB NUMBER: 20322  
ENGINEER: RSL  
CHECKED BY: GHK



SHEET NUMBER:  
**SD-1**