

APPLICATION #: V-20-108

DATE ACCEPTED: **08/25/2020**

NOTICE TO APPLICANT

Address of Property:

1164 Mclynn AVE NE

City Council District: **6** Neighborhood Planning Unit (NPU): **F**

Board of Zoning Adjustment (BZA) Hearing Date:

Thursday, October 08, 2020 at 12:00 p.m.

Council Chambers, 2nd Floor, City Hall 55 Trinity Avenue, S.W.

The contact person for NPU F is:

Debbi Skopczynski 404-874-7483 zoning@npufatlanta.org

Contact info for adjacent NPUs is provided below if necessary:

Additional Contacts:

Please contact the person(s) listed above within five days to find out which meetings you will be required to attend before the next NPU meeting. If you are unable to reach the contact person, please call the city's NPU Coordinator at 404-330-6145.

000

Digitally signed by Racquel Jackson DN: cn=Racquel Jackson, o=Office of Zoning & Development, ou=DCP, email=rtjackson@atlantaga.gov, c=US Date: 2020.08.25 18:01:03 -04'00'

RJ, for Director, Office of Zoning and Development

Mark F Arnolo





City of Atlanta Office of Zoning and Development 55 Trinity Avenue, Suite 3350

Atlanta, Georgia 30303 Phone: 404-330-6145

REFERRAL CERTIFICATE

COUNCIL DISTRICT 6	APPLICATION N	UMBER <u>V-20-10</u>	8
NPU_F	DATE FILI	ED	
		ld	
	Name of Applica	nt	
	UILDING PERMIT AUS struction of a detached acc		
at 1164 McLynn Avenue	NE	1	7 th /2
Street Address	Quadrant	District &	Land Lot
to be used for	Residential	purposes	
The property is zoned $R-4$ (R)	Single Family Residential)	District	
2. The Building Permit Was Applicant seeks a variance to	C		o 5.5 feet, the rear
yard setback from 15 feet to 3.	5 feet and to increase the s	size of an accessory	structure from 30% of
the main dwelling to 43% for the	the construction of a detacl	hed accessory struct	ure.
Appli	cant seeks no other varia	nces at this time.	
1982	ZONING ORDINANCE	, AS AMENDED	
Chapter 6	Section 16-06.008	Paragraph(2	2) & (3)
Chapter 28	Section <u>16-28.004</u>	Paragraph(3)
Tamaría Letang 8/25	5/2020	Mar AM	8/25/2020
	Date	Applicant	Date

PPLICATION FOR BOARD OF ZONING ADJUSTMENT

OFFICE OF ZONING & DEVELOPMENT
RECEIVED DATE: 8/19/2020

Please mark "X" next to the type of application(s) you are submitting:

Variance	~
Special Exception	4
Variance & Special Exception	

Date Filed	Ap	plication Numbe	r V-20-108
Name of Applicant Mark Arnold	Daytime I	Phone 404-6	617-1520
Company Name (if applicable) Mark Arnold,	Architect en	markarnolda nail	architect@gmail.com
Address 1126 N Highland Ave, NE	Atlanta	GA	30306
street	city	state	zip code
Name of Property Owner John & Elizabeth Address 1164 McLynn Avenue, N	h Rothermel	Phone (404) 610-2842
Address 1164 McLynn Avenue, N	E Atlanta	GA	30306
street	city	state	zip code
Description of Property Address of Property street	enue, NE	Atlanta	GA 30306 zip code
Area: Land Lot: 02 District:	17 Fu	ilton	
Property is zoned: R4 , Council District	t: 06 , Neighb	orhood Planning	Unit (NPU): F
TO THE BOARD OF ZONING ADJUSTMENT: A Office of Zoning and Development prior to seeking that the Board of Zoning Adjustment grant a Variance	a building permit	or certificate of	
I hereby authorize the staff of the Office of Zonir described property. I understand that it is my reaccording to the instructions given to me by the Off I swear that all statements herein and attached her belief.	sponsibility to posice of Zoning and I	orrect to the be	on filing this application. st of my knowledge and
		Mark Ar	
lu	A part house some	Print Name	of Owner
Sworn To And Subscribed Before Me This 19 Da		·	
Notary Public, Col	ATEL bb County, Georgia expires Feb 24, 2023		

SUMMARY & JUSTIFICATION FOR VARIANCES

DATE: 8/19/2020 plete responses must be provided for ALL questions. Incomplete applications will not be accepied. The space below may be utilized or responses may be submitted as a separate attachment. Specific criteria for Board approval of variances may be found on page 7. The justification must address the criteria. Please submit a typewritten or legible justification

1 100050 51	
Special I resched	operty described in this application subject to a pending application or ordinance for a Rezoning of Use Permit?YESNO. (If yes, the variance/special exception request will be used to a hearing following the final approval by City Council & the Mayor). Please provide the zoning application number associated with the subject property:
criteria) wooden	ry of proposed construction changes to buildings or site (shall not replace submittal of written (Examples: "Convert a 100' x 200' retail space into a restaurant." "Install a 6-foot high opaque wall ('privacy fence' with 6-foot high opaque wall gates."). ton and replacement of existing accessory structure.
completi	d Lot Coverage (After Construction): Calculate total amount of lot coverage on entire property, after on of proposed construction, including existing and proposed buildings and other structures s, driveways, parking pads, patios, gravel, etc.; everything except natural planted or undisturbed areas.
4,042	8,085 49.9
	covered square feet /total lot square feet =% proposed lot coverage
50	% maximum allowed lot coverage
Varianc	e Criteria (see page 6 for detailed criteria):

1) What are the extraordinary and exceptional conditions pertaining to the particular piece of property in question (size, shape or topography)?

SEE ATTACHED JUSTIFICATION LETTER

2) How would the application of the Zoning Ordinance of the City of Atlanta to this particular piece of property create an unnecessary hardship?

SEE ATTACHED JUSTIFICATION LETTER

3) What conditions are peculiar to this particular piece of property?

SEE ATTACHED JUSTIFICATION LETTER

4) Submit facts to show that relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta.

SEE ATTACHED JUSTIFICATION LETTER

John & Elizabeth Rothermel

1164 McLynn Avenue, NE Atlanta, Georgia 30306 (404) 610-2842 jgrothermel@gmail.com



V-20-108

August 4, 2020

City of Atlanta Department of Planning and Community Development Bureau of Planning, Current Planning Division 55 Trinity Avenue, Suite 3350 Atlanta, GA 30335

re: 1164 McLynn Avenue, NE 30306

Planning Staff:

Our property contains an existing dilapidated garage which we would like to remove and replace with a new accessory structure. The existing garage is one story and encroaches 1.5 feet into the required side yard setback and 11.5 feet into the required rear yard setback.

We would like to replace the garage with a two story accessory structure on a similar footprint as the existing garage. The new structure would maintain the 5.5 side yard and 3.5 feet rear yard setbacks of the existing garage, but it would be both wider and deeper. The extra width and depth would be built in the allowable building footprint of our lot. The new accessory structure will provide us with living space for our growing family and space for a home office. As such it will be larger than the existing garage and it exceeds 30% of the main structure floor area.

It is our understanding that because we are rebuilding the garage we will need variances to maintain the existing setbacks and we will also need a variance for the garage to exceed 30% of the main structure floor area. We, therefore, request the following variances:

- 1. Reduce the west side yard setback from the required 7 feet to 5.5 feet.
- 2. Reduce the rear yard setback from the required 15 feet to 3.5 feet.
- 3. Increase the allowable area of the accessory structure from 30% to 43% of the main structure area.

We offer the following items in support of our variance request:

- Variance Application (including variance criteria addressed below)
- Proposed Site Development Drawings
- Referral Certificate
- Proposed Plans & Elevations

The subject property is zoned R-4. We believe the property meets the variance criteria laid out in Section 16-26.003 in the Zoning Guidelines in the following ways:

Extraordinary/Exceptional Conditions Pertaining to the Property because of its Size/Shape

Our lot is pie-shaped and tapers in towards the back of the lot. As such, the lot width is only 40 feet at the back of the lot and this exceptional narrowness combined with 7 foot side yard setbacks is very restrictive.

The area of our lot is 8,085 sf versus the required minimum area of 9,000 sf. This reduced lot area combined with the 15 foot rear yard setback is also restrictive.

The Application of the Zoning Ordinance to this Property would create an Unnecessary Hardship

We have designed the accessory structure to coincide with the existing garage footprint in order to preserve the usable back yard space and reduce impact to the existing trees. By locating the accessory structure at the rear corner of our property and maintaining the existing side and rear yard encroachments we will reduce land disturbance. Denial of our variance request would create a hardship in that it would not allow us to construct the accessory structure in a pragmatic manner.

Such conditions are peculiar to the particular piece of property involved

Many of the intown Atlanta lots have features that are in conflict with the current zoning ordinance. It is not uncommon to encounter a property that does not conform to the required lot size, however the pieshape of this lot is especially restrictive in the narrowness of the rear yard and dimension of the rear property line.

The Variance would not cause substantial detriment to the public good or impair the purpose and intent of the Zoning Ordinance of Atlanta

The variance, if granted, will not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta. Relief, if granted, will not distract from people's use and enjoyment of adjoining and surrounding properties. The proposed construction is in harmony with construction on neighboring lots, and allows for adequate light and air. We believe the proposed construction is in keeping with the orderly evolution of this neighborhood and will promote desirable living conditions for the homeowner as well as the neighborhood.

Thank you for your consideration in this request.

Sincerely,

OFFICE OF ZONING & DEVELOPMENT

RECEIVED

Date: 8/19/2020

John & Elizabeth Rothermel

V-20-108



RECEIVED
DATE: 8/19/2020

AUTHORIZATIONBY PROPERTY OWNER

quired only if the applicant is not the owner of the property subject to the proposed application.)

(Please print clearly. Must be the original document. A copy will not be accepted.)

I,	John Rothermel	_(OWNER'S NAM	ME) S	SWEAR AND AFFIRM THAT I AM
THE	OWNER OF THE PROPERTY AT	1164 McLynn Avenu	e, Ne	(PROPERTY
				COUNTY, GEORGIA,
WHI	CH IS THE SUBJECT MATTER O	F THE ATTACH	ED A	PPLICATION. I AUTHORIZE THE
PER	SON NAMED BELOW TO FILE THIS			
APP	LICATION AS MY AGENT.			
NAM	ME OF APPLICANT:			
	20100 CHOCKE CONTRACTOR OF THE	PIP CE 11		Mark
			ME	
ADD	DRESS 1126 N Highland Avenue, NE A	Atlanta, GA 30306		SUITE
CITY	Y Atlanta STA	TE GA		ZIP CODE
	NER'S TELEPHONE NUMBER:	(404) 610-2842 -	-	_
Jo	ohn Rothermel			
PRIN	NT NAME OF OWNER			
INFC	SONALLY APPEARED BEFORE DRMATION CONTAINED IN THIS A KNOWLEDGE AND BELIEF.	ME THE ABOV UTHORIZATION	E NA IS TRI	AMES, WHO SWEARS THAT THE UE AND CORRECT TO THE BEST OF
NOT	ARY PUBLIC			
	17/2020 MICE H. 46	200		
DAT	E STORY OTARY			
	BORES GEORGIA			

UL U305

Interior Partitions -Wood Stud (Load-bearing)

Fire Rating	1 hour	
STC	33	
Sound Test	RAL-TL11-172	
System Thickness	4-3/4"	

DATE: __8/19/2020

V-20-108

Assembly Options

Gypsum Board - 5/8 in. thick board applied horizontally or vertically

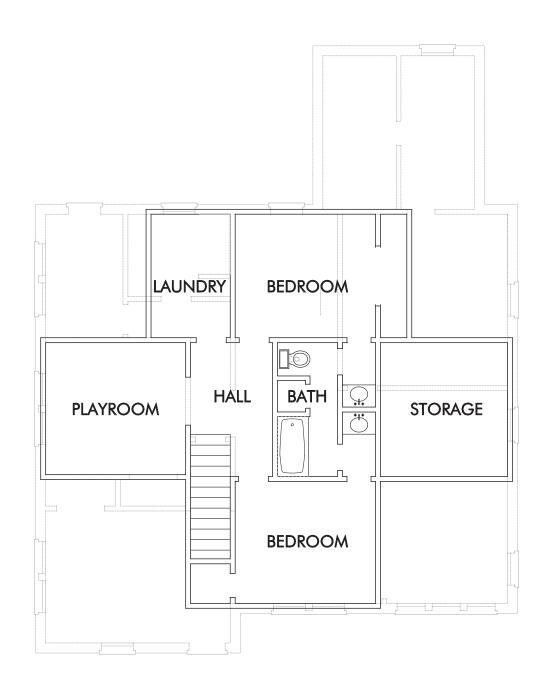
- USG Sheetrock® Brand Gypsum Panels AR Firecode® X 5/8" (UL Type AR)
- USG Sheetrock® Brand EcoSmart Panels Firecode® X 5/8" (UL Type ULIX) USG Sheetrock® Brand EcoSmart Panels Mold Tough® Firecode® X - 5/8" (UL Type ULIX)
- USG Sheetrock® Brand Mold Tough® AR Firecode® X Panels 5/8" (UL Type AR)
- USG Sheetrock® Brand Glass-Mat Panels Mold Tough® AR Firecode® X 5/8" (UL Type AR) USG Sheetrock® Brand Mold Tough® VHI Firecode® X Panels - 5/8" (UL Type AR)
- <u>USG Sheetrock® Brand Glass-Mat Panels Mold Tough® VHI Firecode® X 5/8" (UL Type AR)</u>
- USG Sheetrock® Brand Firecode® C Panels 5/8" (UL Type C)
- USG Sheetrock® Brand Mold Tough® Firecode® C Panels 5/8" (UL Type C)
- <u>USG Fiberock® Brand AR Interior Panels 5/8" (UL Type FRX-G)</u> USG Fiberock® Brand Aqua-Tough™ AR Interior Panels - 5/8" (UL Type FRX-G)
- USG Sheetrock® Brand Gypsum Base Imperial® Firecode® X 5/8" (UL Type IP-X1)
- USG Sheetrock® Brand Gypsum Base Imperial® Firecode® C 5/8" (UL Type IP-X2) USG Sheetrock® Brand Firecode® X Panels - 5/8" (UL Type SCX)
- USG Sheetrock® Brand Mold Tough® Panels Firecode® X 5/8" (UL Type SCX)
- USG Sheetrock® Brand Glass-Mat Panels Mold Tough® 5/8" (UL Type SGX)
- USG Durock™ Brand Glass-Mat Tile Backerboard 5/8" (UL Type SGX) USG Sheetrock® Brand UltraLight Panels Firecode® X - 5/8" (UL Type ULIX)
- USG Sheetrock® Brand UltraLight Panels Firecode® X 5/8" (UL Type ULX)

Wood Studs - 2 in. x 4 in. wood studs spaced max. 16 in. OC

Gypsum Board - 5/8 in. thick board applied horizontally or vertically

- USG Sheetrock® Brand Gypsum Panels AR Firecode® X 5/8" (UL Type AR) USG Sheetrock® Brand EcoSmart Panels Firecode® X - 5/8" (UL Type ULIX)
- USG Sheetrock® Brand EcoSmart Panels Mold Tough® Firecode® X 5/8" (UL Type ULIX)
- USG Sheetrock® Brand Mold Tough® AR Firecode® X Panels 5/8" (UL Type AR)
- USG Sheetrock® Brand Glass-Mat Panels Mold Tough® AR Firecode® X 5/8" (UL Type AR) USG Sheetrock® Brand Mold Tough® VHI Firecode® X Panels - 5/8* (UL Type AR)
- USG Sheetrock® Brand Glass-Mat Panels Mold Tough® VHI Firecode® X 5/8" (UL Type AR).
- USG Sheetrock® Brand Firecode® C Panels 5/8" (UL Type C) USG Sheetrock® Brand Mold Tough® Firecode® C Panels - 5/8" (UL Type C)
- USG Fiberock® Brand AR Interior Panels 5/8" (UL Type FRX-G)
- USG Fiberock® Brand Aqua-Tough™ AR Interior Panels 5/8" (UL Type FRX-G)
- USG Sheetrock® Brand Gypsum Base Imperial® Firecode® X 5/8" (UL Type IP-X1)
- USG Sheetrock® Brand Gypsum Base Imperial® Firecode® C 5/8" (UL Type IP-X2)

GA FILE NO. FC 5420	GENERIC	1 HOUR	35 to 39 STC
WOOD JOISTS, GYPSU	M WALLBOARD	FIRE	SOUND
One layer 5/8" type X gypsum wallboard or gypo 2 x 10 wood joists 16" o.c. with 6d coated nateads, 6" o.c. Wood joists supporting 1" nomininish floor, or 19/32" plywood finished floor with exterior glue subfloor perpendicul	uls, 1 7/8" long, 0.0915 shank, 1/4" al wood subfloor and 1" nominal wood h long edges T & G and 15/32" interior		
		Approx. Ceiling Weight: Fire Test:	2.5 psf UL R3501-5, 7-15-52; UL R1319-2, 3, 6-5-52;
			UL Design L501;
		Sound Test:	그리는 항 집에 가면 가면 맛이었다. 살아가면 하면 있다면 맛이 있다면 하는데 하면 하다 되었다.



MAIN STRUCTURE - SECOND FLOOR PLAN

SCALE: 1/8'' = 1'-0''

FLOOR AREA: 872 SF

ZONING ANALYSIS

R-4 (SINGLE FAMILY RES) DISTRICT, SECTION 16-06 City of Atlanta Zoning Ordinance

1) Minimum lot area: 9,000 SF Existing: 8,085 SF (0.186 ACRES)

2) Minimum lot frontage: 70 feet

Existing: 69.94 feet Proposed: NO CHANGE

3) Maximum Floor Area Ratio: 50%

Existing: 30.8% House First Floor 1,614sf + House Second Floor 872sf divided by Lot Area 8,085sf =1,614sf+872sf/8,085=2,486/8,085=0.3075

Proposed: 41.7%

House First Floor 1,614sf+House Second Floor 872sf+Garage 1st Floor 533sf +Garage 2nd Flooor 355sf divided by Lot Area 8,085sf =1,614sf + 872sf + 533sf + 355sf/8,085 = 3,374/8,085 = 0.417

4) Maximum lot coverage: 50%

Existing: 46.6%

House 1621sf + Garage 341sf + Driveway&Walks 1415sf + Walls 44sf + Rear Deck 266sf + Front Porch&Steps 77sf divided by Lot Area 8,085sf =3,764 /8,085sf = 0.4656 = 46.56%

Proposed: 49.9%

House 1621sf+Garage 606sf+Driveway&Walks 1415sf+Walls 44sf +Rear Deck 266sf+Front Porch&Steps 77sf divided by Lot Area 8,085sf =4,029 /8,085sf=0.4989=49.89%

5) Minimum depth front yard: 35 feet Existing: 31' (to front porch) Proposed: NO CHANGE

6) Minimum width east side yard: 17.5 feet

Existing at Garage: 18.2' Proposed at Garage: 11.7

7) Minimum width west side yard: 7 feet

Existing at Garage: 5.5' Proposed at Garage: 5.5' (NO CHANGE)

8) Minimum depth rear yard: 15 feet

Existing at Garage: 3.5' Proposed at Garage: 3.5' (NO CHANGE)

9) Maximum building height: 35 feet

Existing at Garage: 16' Proposed at Garage: 19.5'

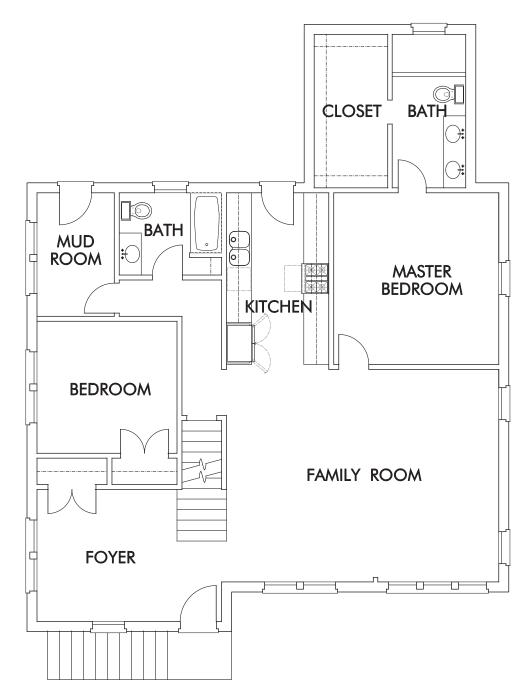
10) Section 16.004 Criteria

Accessory buildings in R-1 through R-5 districts shall: a) not exceed 20 feet in height, b) not cover more than 25 percent of the area of the rear yard c) not contain a total floor area greater than 30 percent of the main structure

a) Accessory structure is 19.5' per attached elevations. It is less than 20' and therefore conforms to 16.004 criteria.

b) Accessory Structure Footprint 606 sf divided by Rear Yard Area 3,032 = 606sf divided by 3,032sf = 0.199 = 20%; Accessory structure is less than 25% of rear yard area and therefore conforms to 16.004 criteria.

c) Accessory Structure Floor Area 888 sf divided by Main Structure Floor Area 2,486 sf = 888sf/2,486sf = 0.357 sf; Accessory Structure floor area is 36% of Main Structure floor area and there does NOT conform to 16.004 criteria.



MAIN STRUCTURE - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

FLOOR AREA: 1,614 SF

PROPERTY DATA

R-4 (SINGLE FAMILY RES) DISTRICT 16-06 City of Atlanta Zoning Ordinance

LAND LOT 02, 17th DISTRICT FULTON COUNTY, GEORGIA

EUGENE A STEPANOV, REGISTERED LAND SURVEYOR LICENSE NO. 5197

OWNER JOHN & ELIZABETH ROTHERMEL 1164 McLYNN AVENUE, NE ATLANTA, GA 30306 (404) 610–2842 jgrothermel@gmail.com

ARCHITECT

MARK ARNOLD, ARCHITECT 1126 N. HIGHLAND AVENUE, NE ATLANTA, GA 30306 404-939-3690 intownarchitect@gmail.com Georgia Registration RA008398

CONTRACTOR KEVIN MILAM LANIER BLVD., NE ATLANTA, GA 30306

(404) 345–1173

kevsellshomes@gmail.com City of Atlanta Business License No. 190125 LGB, exp. 12 /31/2020

24 hr Contact: Kevin Milam (404) 345-1173

GA Contractor's Licence No. RBI 003910, exp. 6/30/2021

STRUCTURAL

KOBLASZ & KENNISON ENGINEERING, P.C. 330 CREEKSTONE RIDGE WOODSTQCK, GA 30188 404-860-2600 gary@kk-eng.com Georgia Registration PE 035653

SURVEYOR

SURVEY LAND EXPRESS, INC 24 LENOX POINTE ATLANTA, GA 30324 404-252-5747 info@surveylandexpress.com

APPLICABLE CODES

International Building Code, 2018 Edition, with Georgia Amendments (2020) International Residential Code, 2018 Edition, with Georgia Amendments (2020) International Fire Code, 2018 Edition, with Georgia Amendments (2020) International Plumbing Code, 2018 Edition, with Georgia Amendments (2020) International Mechanical Code, 2018 Edition, with Georgia Amendments (2020) International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020) National Electrical Code 2017 Ed. with no Georgia Amendments International Energy Conservation Code 2015 Edition with Georgia Supplements and Amendments (2020)

NFPA 101, Life Safety Code 2018 Edition with State Amendments (2020)

TREE STATEMENT

SEE SITE DEVELOPMENT DRAWINGS FOR IMPACT TO TREES

CONSTRUCTION TYPE TYPE V-B per IBC Section 602.5

PROJECT SUMMARY

DEMOLITION AND REPLACEMENT OF EXISTING ACCESSORY STRUCTURE.

DRAWING INDEX

COVER SHEET

A-0.00 PROJECT DATA, DRAWING INDEX, ZONING ANALYSIS

SITE DEVELOPMENT & LANDSCAPE

1 of 3 SITE DATA, NOTES, TREE PROTECTION DETAILS

2 of 3 PROPOSED SITE PLAN

3 of 3 SITE DETAILS, COVERAGE DIAGRAMS, VEGETATION PLAN

ARCHITECTURAL

A-1.01 PROPOSED PLANS AND ELEVATIONS

A-1.02 WALL AND STAIR SECTION

STRUCTURAL

S-0 STRUCTURAL DESIGN NOTES

S-1 FOUNDATION PLAN & FRAMING PLANS

SD-1 STRUCTURAL DETAILS

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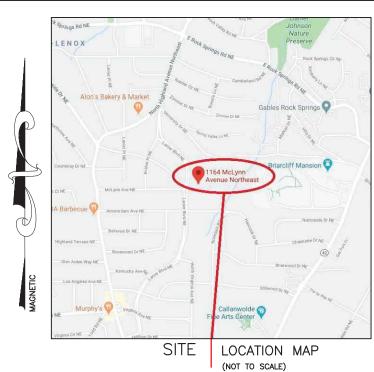
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REVISIONS

PRINT DATE 07/07/20

A0.00

PHASE



PROPERTY IS ZONED R-4 CITY OF ATLANTA

BUILDING SETBACKS:

FRONT: 35.0' SIDE: 7.0' REAR: 15.0' MAXIMUM LOT COVERAGE: 50% MAXIMUM BUILDING HEIGHT: 35'

DISTRICT, PER ZONING DEPARTMENT.

ZONING NOTE:

BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING

ANTICIPATED STARTING DATE: 06/20/2020 ANTICIPATED COMPLETION DATE: 10/30/2020 THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING

UTILITY PROTECTION CENTER IT'S THE LAW

DISTURBED AREA STABILIZATION

DIRT STATEMENT

ACTIVITIES.

TOTAL OF GROSS CUBIC YARDS OF DEMOLITION DEBRIS $\underline{53}$ TOTAL OF GROSS CUBIC YARDS OF HAUL VOLUMES 53

FLOOD NOTE:

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE ITS OPINION FOR SAID PARCEL MAP ID _____13121C0261G _____ EFFECTIVE DATE: __09/18/2013 ZONE: __X_.

NO WATERS OF THE STATE EXIST WITHIN 200 FEET.

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

THIS PLAT WAS PREPARED TO SHOWN THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR

- 1. LAND DISTURBANCE PROHIBITED WITHIN IRF LIMITS. LOCATE AND STAKE IRF LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES
- 2. LAND DISTURBANCE PROHIBITED WITHIN STREAM BUFFER LIMITS. LOCATE AND STAKE BUFFER LIMITS PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- 3. ALL BUILDINGS LOCATED ADJACENT TO THE INTERMEDIATE REGIONAL FLOOD PLAIN SHALL BE CONSTRUCTED SO THAT ALL ALL PORTIONS OF THAT STRUCTURE INCLUDING THE BASEMENT FLOOR OR CRAWL SPACE AREAS SHALL BE NOT LESS THAN THREE (3) FEET ABOVE THE INTERMEDIATE REGIONAL FLOOD FLEVATION.
- 4. A FINAL AS-BUILT LOT SURVEY MAY REQUIRED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

GENERAL NOTES:

- 1. THE FIELD DATA UPON WHICH THE PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 75,000± FEET, AN ANGULAR ERROR OF 07 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000± FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT/SURVEY.
- THE PUBLIC RECORDS AS SHOWN HEREON REFLECTS TO THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON AND REFERENCE TO THE SAME DOES NOT AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR TITLE OPINION. SURVEY LAND EXPRESS, INC. ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY
- AND ALL UNDERGROUND UTILITIES THAT MAY AFFECT THIS PROPERTY, INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM DRAINS, GAS PIPES OR LINES, WATER PIPES OR LINES, ELECTRICAL OR ANY OTHER UTILITY ABOVE OR BELOW GROUND.
- 4. THIS SURVEY IS SUBJECT TO ANY AND ALL EASEMENTS, RESTRICTIONS, OR ANY OTHER MATTERS OF RECORD THAT MAY AFFECT THIS PROPERTY; RECORDED OR UNRECORDED; PUBLIC OR PRIVATE NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEY LAND EXPRESS, INC. FOR USE
- OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY. IF WETLANDS EXIST, WATERS OF THE UNITED STATES, INCLUDING THE LAKES AND ADJACENT WETLANDS, SHOWN ON THIS PLAT ARE UNDER THE JURISDICTION OF THE U.S.
- ARMY CORPS OF ENGINEERS. LOT OWNERS ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE OF THESE WETLAND AREAS WITHOUT PROPER AUTHORIZATION 7. THIS SURVEY/PLAT IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD NOT EVIDENT FROM A VISIBLE INSPECTION OF THE PROPERTY.
- 8. EASEMENTS FOR STORM DRAINS AND SANITARY SEWER LINES SHALL BE CENTERED ON THE PIPES, AND THE CONSTRUCTOR MUST VERIFY DEPTHS AND LOCATION OF SEWER LATERALS PRIOR TO CONSTRUCTION.
- 9. STORM DRAINAGE AND SANITARY SEWER EASEMENT SHOWN HEREON ARE CENTERED ON THE NATURAL DRAINS, STRUCTURES AND PIPES ASSOCIATED WITH THE EASEMENTS, UNLESS CLEARLY DIMENSIONED OTHERWISE. LOCATIONS SHOWN ARE APPROXIMATE. ALL STRUCTURES. LINES OR DRAINS NEAR ANY AREA OF PROPOSED LAND DISTURBANCE OR CONSTRUCTION SHOULD BE FIELD LOCATED PRIOR TO PROCEEDING. NO CONSTRUCTION
- SHOULD OCCUR WITHIN ANY EASEMENT AREA. 10. PRIOR TO COMMENCING LAND DISTURBING ACTIVITY THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS OR OTHER APPROPRIATE MEANS. THE LOCATION AND EXTEND OF ALL AUTHORIZED LAND DISTURBING
- ACTIVITY SHALL BE DEMARCATED FOR THE DURATION OF THE CONSTRUCTION ACTIVITY. 11. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PRIOR WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- 12. A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROCESS.
- 13. FINAL ON-SITE INSPECTION REQUIRED PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY. CERTIFIED AS-BUILT MAY ALSO BE REQUIRED.

COORDINATES CONNECTED TO MEAN SEA LEVEL ELEVATIONS

NO GRADED SLOPES | SHALL EXCEED 2H:1V|

GAS LINE GAS METER

GAS VALVE

GUY WIRE HEAD WALL

HARDWOOD TREE

IRON PIN FOUND

IRON PIN SET

GW HDW

HW IPF IPS

SILT FENCE HAND DUG IN CRZ

THE PLACEMENT OF DUMPSTERS AND THE ARKING OF AUTOMOBILES IS PROHIBITED IN THE RIGHT-OF-WAY.

* L E G E N D *

APD AS PER DEED ACCESS EASEMENT APF AS PER FIELD ANGLE IRON FOUND AS PER PLAT APR AS PER RECORD BC BLK BACK OF CURB BI OCK BLS BRK BSMT BUILDING LINE SETBACK BASEMENT CBX CABLE BOX CONCRETE CATCH BASIN CENTER LINE CLF CMP C.O.A. CO CRWL CP CPT CTP CHAIN LINK FENCE CORRUGATED METAL PIPE CITY OF ATLANTA SAN SEWER CLEANOUT CRAWL SPACE CALCULATED POINT CRIMP TOP PIPE FOUND DEED DRAINAGE EASEMENT R/W DRAINAGE INLET ELECTRIC POWER BOX EDGE OF PAVEMENT FENCE POST FENCE CORNER FIRE HYDRANT

IRON ROD FOUND RRIGATION VALVE JUNCTION BOX LAND LOT LINE

MAGNETIC READING IP MAGNOLIA TREE MAN HOLE METAL FENCE OPEN TOP PIPE FOUND OWNERSHIP UNCLEAR PROPERTY CORNER PROPERTY LINE POINT OF BEGINNING POWER POLE PLAT RECORD

POWER LINE PORCH REINFORCING BAR FOUND REINFORCING BAR SET REINFORCED CONC. PIPE RIGHT-OF-WAY SANITARY SEWER LINE SANITARY SEWER EASEMENT SCREENED PORCH **SIDEWALK** UTILITY EASEMENT

WOOD WOOD FENCE WDK WOOD DECK WATER LINE WATER METER WRF WIRE FENCE WATER VALVE WV WET WEATHER WITH/

YARÓ INLET

* SYMBOLS * □ ELECTRIC PANEL/METER WATER METER AIR CONDITIONER GAS METER WATER VALVE SANITARY SEWER MANHOLE STORM MANHOLE TRAFFIC/INFO SIGN GAS MARKER 7) LAMP POST FIRE HYDRANT INDICATES STAIRS

* LINE INDICATORS *

INDICATES SANITARY SEWER LINE INDICATES POWER LINE

INDICATES WATER LINE INDICATES GAS LINE INDICATES FENCE LINE

INDICATES DRAINAGE LINE INDICATES EASEMENT

SPECIAL SITE PLAN NOTES:

- 1. SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171 TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, STANDARD SPECIFICATION 1983 EDITION AND BE WIRE REINFORCED.
- 2. MAINTENANCE STATEMENT: EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST
- WEEKLY AND AFTER EACH RAIN, AND REPAIRED BY GENERAL CONTRACTOR. 3. STATEMENT: ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTOR
- 4. TREE PROTECTION SHALL BE ENFORCED ACCORDING TO CITY OF ATLANTA STANDARDS. NO ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- 5. DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AND MULCH AFTER 14 DAYS; AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED. 6. ALL GRADED SLOPES TO BE 2H: 1V OR GREATER. ALL LOTS WITH 2' OF FILL OR GREATER
- WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED. 7. ENGINEER DESIGN AND SUBMITTAL REQUIRED FOR ALL THE RETAINING WALLS GREATER THAN
- 4 FEET IN HEIGHTS. 8. GRADE TO DRAIN AWAY FROM FOUNDATION.
- 9. NO WATERS OF THE STATE EXIST WITHIN 200 FEET OF PROJECT SITE. 10. LOCATION OF DUMPSTER AND/OR SANITARY SEWER CANNOT BE LOCATED IN THE RIGHT OF
- WAY OR TREE SAVE AREA. 11. THREE WORKING DAYS BEFORE YOU DIG, CALL UTILITIES PROTECTION CENTER, INC. @
- 1-800-282-7411 -IT'S THE LAW. 12. HAUL ROUTE PERMIT IS NOT REQUIRED
- 13. LAND DISTURBANCE WITHIN RIGHT-OF-WAY AREA IS PROHIBITED. 14. TOPOGRAPHY IS BASED ON FIELD RUN SURVEY ON MAY 16, 2020

GENERAL NOTES (SITE PLAN):

GEORGIA, AND BE WIRE REINFORCED.

- 1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- 2. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE
- DISTURBED AREAS IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION AND MULCH; DISTURBED AREAS IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- 4. MAINTENANCE STATEMENT: EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
- 5. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE 6. SILT FENCE SHALL BE "TYPE-S" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN

SURVEY NOTES:

- 1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES
- SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT
- OF WAY PUBLIC OR PRIVATE. 3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. 4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND
- ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION. 5. SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING
- INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS
- DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY. 6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON. PERSONS. OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

SITE PLAN DISCLAIMER TO BUILDER:

SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR THE DISTRIBUTION OF THE MOST RECENT AND ACCURATE PLAN INFORMATION FROM THE BUILDER REQUESTING OR USING THE CONSTRUCTION SITE PLAN. IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE SUCH INFORMATION TO THE SURVEYOR PRIOR TO DRAFTING A CONSTRUCTION SITE PLAN.

BUILDER IS REQUIRED TO CHECK AND CONFIRM WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATED THE BUILDING FLOOR PLANS REGARDING ANY CHANGES, ALTERATIONS, AND/OR REVISIONS TO THE BUILDING FLOOR PLANS ONCE THEY ARE SUPPLIED TO THE SURVEYOR AND THROUGHOUT THE PERMITTING AND CONSTRUCTION PROCESS.

BUILDER IS REQUIRED TO CONSULT WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATING THE FLOOR PLANS REGARDING ALL PROPOSED DESIGN ELEMENTS, INCLUDING BUT NOT LIMITED TO: FINISHED FLOOR ELEVATIONS; NUMBER OF FLOOR LEVELS; PROPOSED GRADING; RETAINING WALLS; MATERIAL TYPES; ALL IMPERVIOUS ACCESSORY SURFACES ADJACENT TO THE BUILDING; ALL DESIGN ELEMENTS THROUGHOUT THE PROJECT SITE. IT IS CRITICAL THAT THIS DUE DILIGENCE BY THE BUILDER BE DONE BY COMPARING ALL DESIGN ELEMENTS TO ANY 3D RENDERINGS AND/OR SIDE ELEVATIONS PROFILES CREATED BY THE ARCHITECT AND/OR OTHER PROFESSIONAL(S) PRIOR TO SUPPLYING TO THE SURVEYOR.

IT IS THE RESPONSIBILITY OF THE END USER TO VERIFY THE INFORMATION ON THE SITE PLAN IS TRUE AND CORRECT PRIOR TO SUBMITTING THE SITE PLAN FOR PERMITTING AND PRIOR TO CONSTRUCTING THE NEW IMPROVEMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY DELAY THROUGHOUT THE PROJECT SCHEDULE DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY UNDESIRABLE AND/OR ERRONEOUS CONSTRUCTION ONCE THE SITE PLAN IS RELEASED AND/OR IMPROVEMENTS ARE STAKED PER SAID SITE PLAN DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

GEORGIA SOIL AND WATER GSWCC CONSERVATION COMMISION

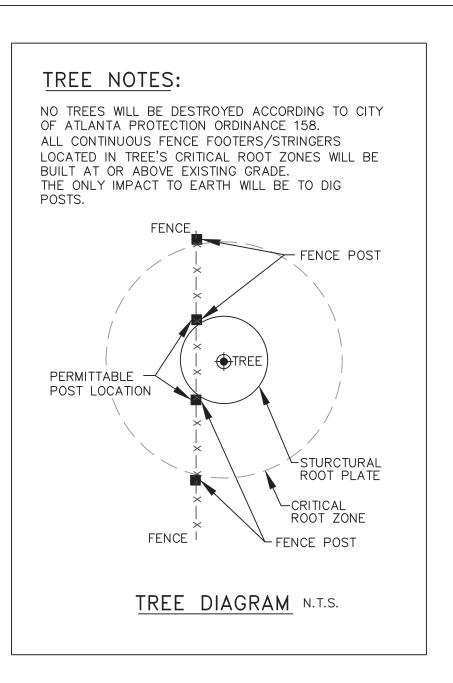
CERTIFICATION NUMBER 0000065549 ISSUED:<u>01/27/201</u>8 EXPIRES:<u>01/27/20</u>21

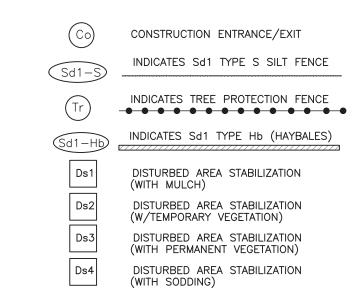
EUGENE A STEPANOV

LEVEL II CERTIFIED DESIGN PROFESSIONAL

NAME: KEVIN MILAM ADDRESS1164 McLYNN AVENUE NE ATLANTA, GA 30306 24HR CONTACT: KEVIN MILAM TEL: (404) 345-1173

DEVELOPER INFORMATION:





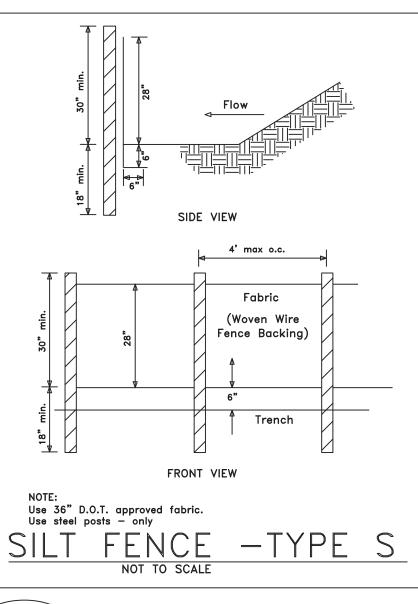
TREE PRESERVATION PROTOCOLS:

ARBORIST REQUIREMENT FOR REMOVING A DRIVEWAY WITHIN CRZ OF

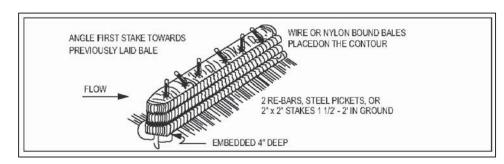
- DO NOT REMOVE PAVEMENT UNTIL IT IS REPLACED WITH MULCH. USE HAND MACHINERY TO REMOVE PAVEMENT IE. JACK HAMMER NO CUT OR FILL OF EARTH ALLOWED WITHIN THE CRZ
- REMOVE STONE BASE BY HAND (NO MACHINERY) REPLACE WITH 2" TOPSOIL AND 4" HARDWOOD MULCH. IMMEDIATELY RESET TPF INCREASING TREE SAVE IN THIS AREA.

ARBORIST REQUIREMENT FOR "IN-KIND" REPLACEMENT OF EXISTING

- DRIVEWAY WITHIN THE CRZ OF EXISTING TREES DO NOT REMOVE PAVEMENT UNTIL IT IS TO BE REPLACED. USE HAND MACHINERY TO REMOVE PAVEMENT IE. JACK HAMMER
- NO CUT OR FILL OF EARTH ALLOWED WITHIN THE CRZ 4. LEVEL USING 57 STONE - DO NOT COMPACT SOIL. 5. LAY 6 MIL PLASTIC SHEET BEFORE POURING CONCRETE

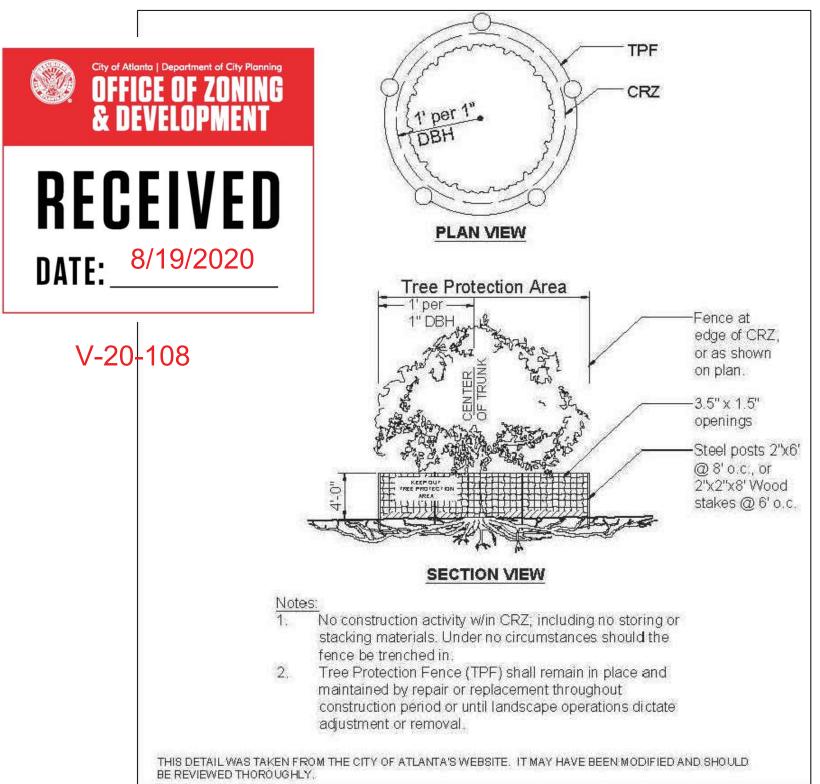


SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 181 - TEMPORARY SILT FENCE, OF THE DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA STANDARD SPECIFICATIONS, 1993 EDITION.



Hay or Straw Bales (Sd1-Hb)

- Place in a single row, lengthwise, on the
- Embed in the soil to a depth of 4 inches.
- Secure with stakes or bars driven through
- the bales or by other adequate means. · Place in areas of low rate sheet flow.
- For use on projects with a duration of three months or less.



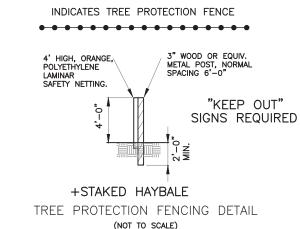


STANDARD DETAILS

PLASTIC FENCE

DATE: ORIG. DATE: JUNE 2017 TREE PROTECTION—ORANGE SCALE: N.T.S.

ETAIL NO. A-3



TREE PROTECTION: (Tr

- 1. ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING
- 2. NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- KEEP OUT SIGN.

Released for Construction

COORD #20110234

DWG #20200911 SPX ADD

BLOCK E PLAT OF ADDITION TO BLOCKS D AND E SITE PLAN/VARIANCE PREPARED FOR: LOT 33 BRIARWOOD SUBDIVISION LAND LOT 2 17TH DISTRICT SECTION FULTON COUNTY, GEORGIA DB.51177/PG.262 PB.12/PG.137 FIELD WORK DATE MAY 16, 2020 PRINTED/SIGNED JUN 16, 2020 ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE: 24" x 36"

PROPERTY ADDRESS: 1164 McLYNN AVENUE NE ATLANTA, GA 30306

KEVIN MILAM

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY. 24 LENOX POINTE ATLANTA, GA 30324 SURVEY LAND EXPRESS, INC FAX 404-601-0941 TEL 404-252-5747 LAND SURVEYING SERVICES INFO@SURVEYLANDEXPRESS.COM



SHEET 1 OF

EXISTING HOUSE FFE MAIN 912.54 SSMH1 TOP=896.86

INV IN=886.66 INV OUT=886.56

SSMH2 TOP=899.11

TOP=896.16

INV IN=883.61 INV OUT=883.51

INV OUT=891.66

NO RETAINING WALLS PROPOSED

SILT FENCE HAND DUG IN CRZ

NO TREES TO BE REMOVED

NO GRADED SLOPES SHALL EXCEED 2H:1V

NO WATERS OF THE STATE EXIST WITHIN 200' OF THE PROJECT SITE

TOTAL LAND AREA

8084.55 SF / 0.186 AC

ALLOWABLE LOT COVERAGE

EXISTING LOT COVERAGE

DISTURBED AREA

FLOOR AREA RATIO

3029.96 SF / 0.070 AC

PROPOSED LOT COVERAGE

4042.28 SF / 0.093 AC / 50%

3649.70 SF / 0.084 AC / 45.14%

4036.33 SF / 0.093 AC / 49.92%

TOTAL ADDED NEW STRUCTURAL 914.18 SF

TOTAL ADDED 914.18 SF, LESS THAN 1000 SF

STORM WATER MANAGEMENT PLAN IS NOT REQUIRED

TOTAL NEW LOT COVERAGE 4036.33 SF

(See architect's plans for details)

TREE SAVE STATUS:

VINDICATES TREE
TO BE REMOVED

Sd1-S INDICATES Sd1 TYPE S SILT FENCE

INDICATES TREE PROTECTION FENCE

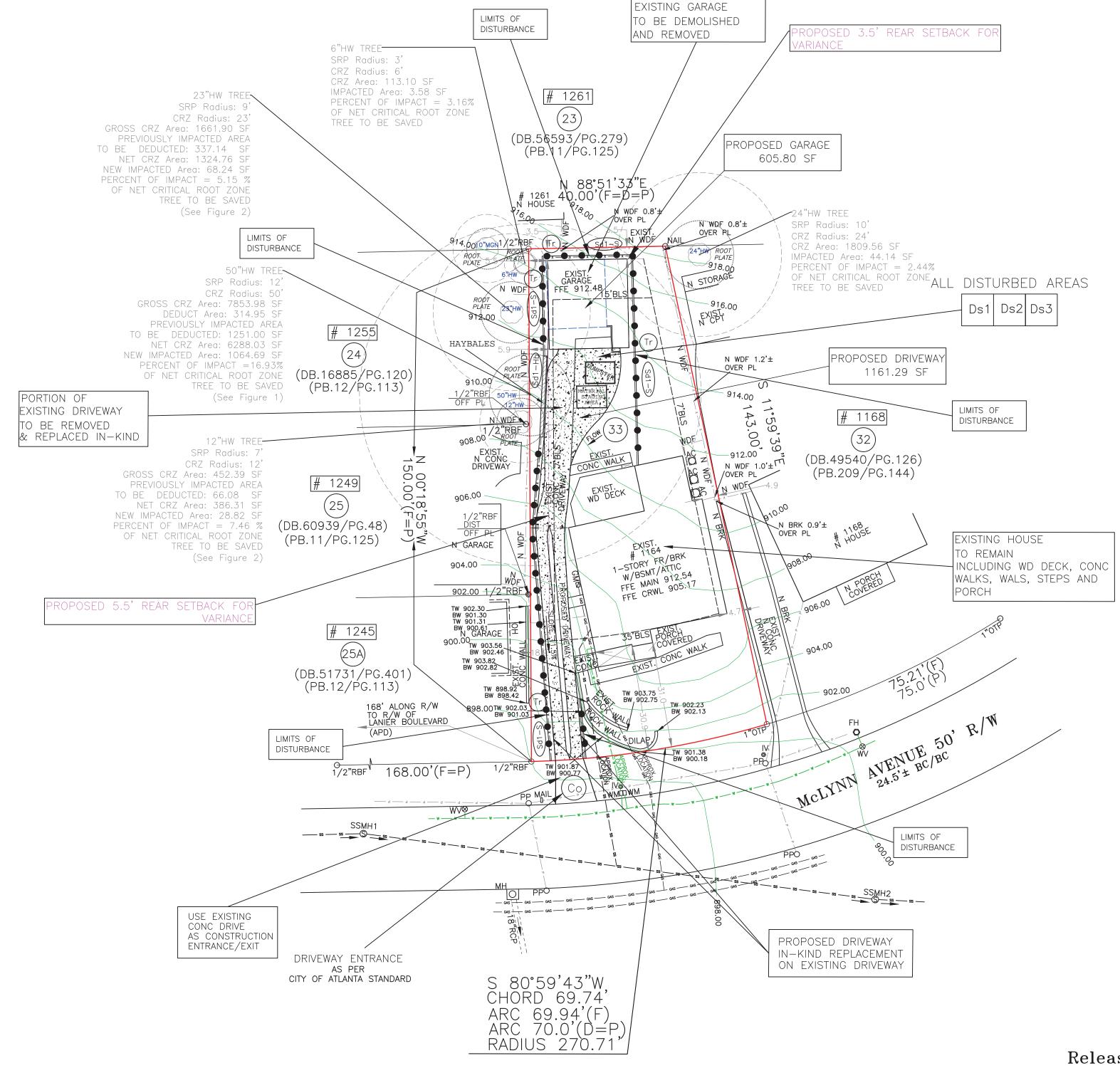
INDICATES Sd1 TYPE Hb (HAYBALES)

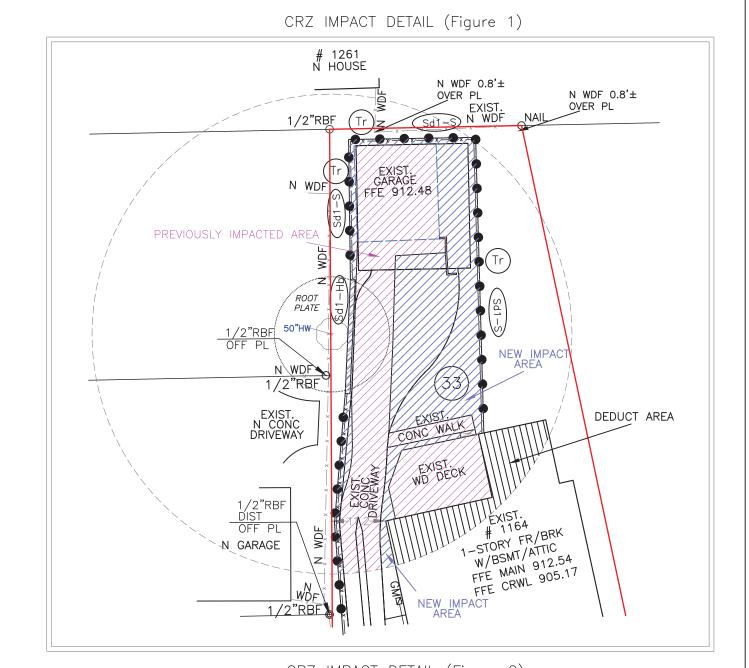
INDICATES PROPOSED CONTOURS

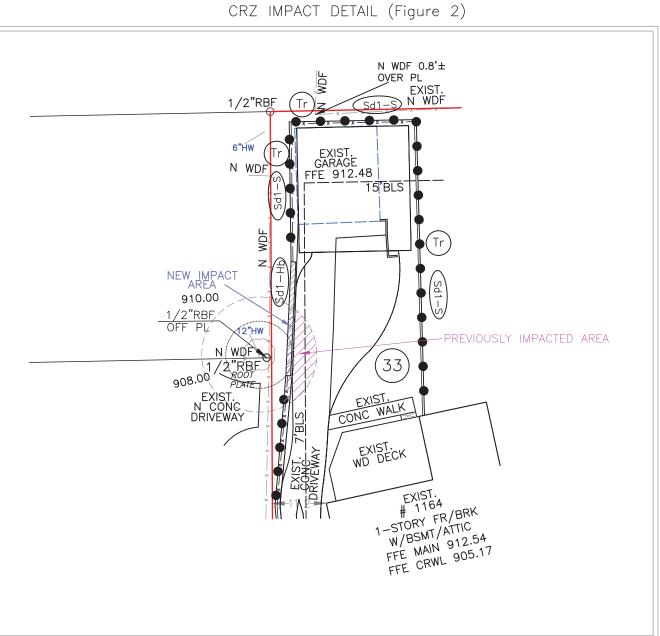
INDICATES EXISTING CONTOURS

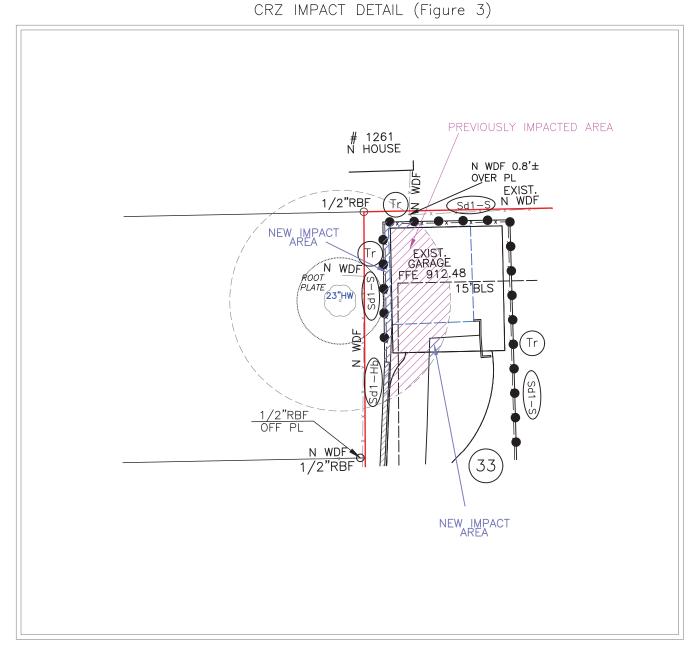


V-20-108









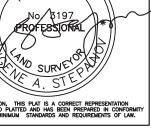
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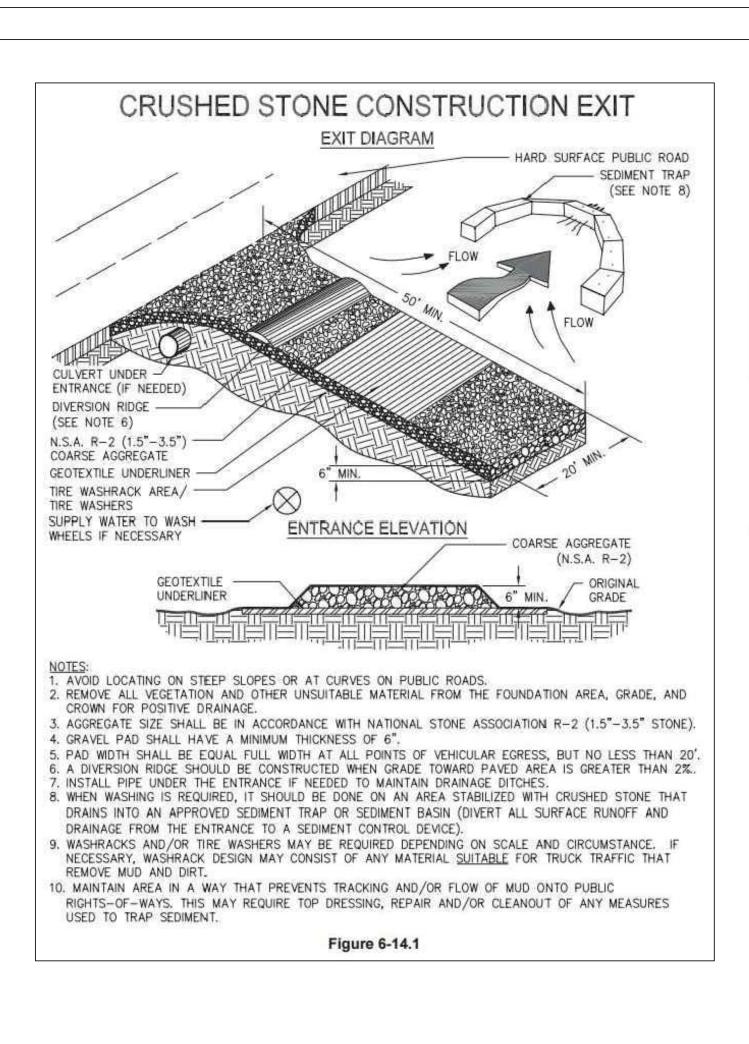
SCALE 1" = 20'

BLOCKS D AND E	SITE PLAN/VARIANCE PREPARED FOR:	SHEET 2 OF
	KEVIN MILAM	
	KEVIN WILAW	
262 PB.12/PG.137	PROPERTY ADDRESS:	ORG
D JUN 16, 2020	1164 McLYNN AVENUE NE	GREGISTERED A
PAPER SIZE: 24" x 36"	ATLANTA, GA 30306	* No \$197
_	262 PB.12/PG.137 ED JUN 16, 2020	262 PB.12/PG.137 PROPERTY ADDRESS: 1164 McLYNN AVENUE NE

AU SURVEY LAND EXPRESS, INC DWG #20200911 SPX ADD LAND SURVEYING SERVICES

24 LENOX POINTE
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURVEYLANDEXPRESS.COM





EXISTING LOT COVERAGE DETAIL TOTAL: 3649.70 SF / 0.084 AC

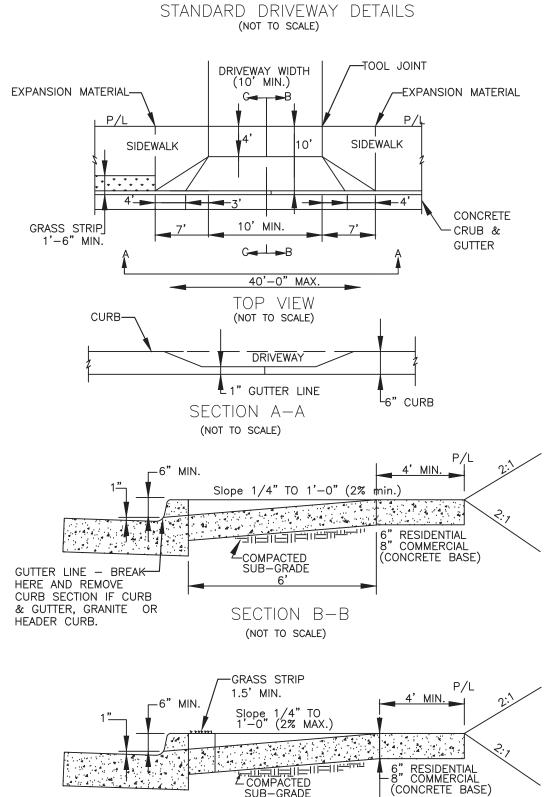
7GRASS

ADDED NEW /896/76/SF/ STRUCTURAL 914.18 SF 17.42 SF∤ GRASS

PROPOSED LOT COVERAGE DETAIL

TOTAL: 4036.33 SF / 0.093 AC

STANDARD DRIVEWAY WITH CURB AND GUTTER



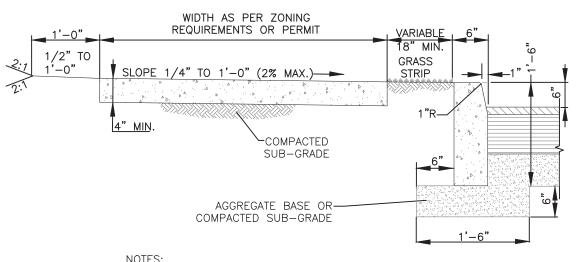
SECTION A-A (NOT TO SCALE)

NOTE: CAN EXCHANGE W./CONC. HEADER CURB

CONCRETE SIDEWALK AND CONCRETE HEADER CURB (NOT TO SCALE)

DATE: 8/19/2020

V-20-108



- 1. SIDEWALK SHALL BE SCRIBED WITH TRANSVERSE CONTROL JOINTS IN SQUARES EQUAL TO SIDEWALK WIDTH BUT NOT TO EXCEED 10 FEET.
- 2. CONCRETE SHALL BE TYPE "A" 3,000 P.S.I. MIN. STRENGTH. 3. EXPANSION JOINTS SHALL EXTEND ACROSS THE FULL WIDTH OF THE SIDWALK. CONTROL JOINTS SHALL BE LOCATED ON EACH SIDE OF A DRIVEWAY APRON AND NOT MORE THAN 100 FEET APART.
- 4. PREFORMED BITUMINOUS MATERIAL SHALL BE PLACED BETWEEN ALL
- FIXED OBJECTS AND THE NEW CONCRETE SIDEWALK. 5. ALL CONCRETE WORK SHALL BE PER CITY OF ATLANTA STANDARD
- SPECIFICATIONS FOR CONSTRUCTION. 6. NEITHER WIRE MESH NOR REBAR CAN BE USED IN THE R/W

VEGETATION PLAN



DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)

DEFINITION

APPLYING PLANT RESIDUES OR OTHER SUITABLE MATERIALS, PRODUCED ON THE SITE IF POSSIBLE, TO THE SOIL SURFACE.

CONDITIONS MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF DISTURBANCE. MULCH CAN BE USED AS A SINGULAR EROSION CONTROL DEVICE FOR UP TO SIX MONTHS, BUT IT SHALL BE APPLIED AT THE APPROPRIATE DEPTH, DEPENDING ON THE MATERIAL USED, ANCHORED, AND HAVE A CONTINUOUS 90% COVER OR GREATER OF THE SOIL SURFACE. MAINTENANCE SHALL BE REQUIRED TO MAINTAIN APPROPRIATE DEPTH AND 90% COVER. TEMPORARY VEGETATION MAY BE EMPLOYED INSTEAD OF MULCH IF THE AREA WILL REMAIN UNDISTURBED FOR LESS THAN SIX MONTHS. IF AN AREA

WILL REMAIN UNDISTURBED FOR GREATER THAN SIX MONTHS, PERMANENT VEGETATIVE TECHNIQUES SHALL BE EMPLOYED.

<u>SPECIFICATIONS</u>

MULCHING WITHOUT SEEDING THIS STANDARD APPLIES TO GRADES OR CLEARED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDANT COVER, BUT CAN BE STABILIZED WITH A MULCH COVER.

SITE PREPARATION

- GRADE TO PERMIT THE USE OF EQUIPMENT FOR APPLYING AND ANCHORING MULCH. 2. INSTALL NEEDED EROSION CONTROL MEASURES AS REQUIRED SUCH AS DIKES, DIVERSIONS, BERMS, TERRACES AND SEDIMENT BARRIERS
- 3. LOOSEN COMPACT SOIL TO A MINIMUM DEPTH OF 3 INCHES.

MULCHING MATERIALS

- SELECT ONE OF THE FOLLOWING MATERIALS AND APPLY AT THE DEPTH INDICATED: 1. DRY STRAW OR HAY SHALL BE APPLIED AT A DEPTH OF 2 TO 4 INCHES PROVIDING COMPLETE SOIL COVERAGE. ONE ADVANTAGE OF THIS MATERIAL IS EASY APPLICATION.
- 2. WOOD WASTE (CHIPS, SAWDUST OR BARK) SHALL BE APPLIED AT A DEPTH OF 2 TO 3 INCHES. ORGANIC MATERIAL FROM THE CLEARING STAGE OF DEVELOPMENT SHOULD REMAIN ON SITE, BE CHIPPED, AND APPLIED AS MULCH. THIS METHOD OF
- MULCHING CAN GREATLY REDUCE EROSION CONTROL COSTS. 3. CUTBACK ASPHALT (SLOW CURING) SHALL BE APPLIED AT 1,200 GALLONS PER ACRE (OR 1/4 GALLON PER SQUARE
- 4. POLYÉTHYLENE FILM SHALL BE SECURED OVER BANKS OR STOCKPILED SOIL MATERIAL FOR TEMPORARY PROTECTION. THIS MATERIAL CAN BE SALVAGED AND REUSED.

APPLYING MULCH

- WHEN MULCH IS USED WITHOUT SEEDING, MULCH SHALL BE APPLIED TO PROVIDE FULL COVERAGE OF THE EXPOSED AREA. 1. DRY STRAW OR HAY MULCH AND WOOD CHIPS SHALL BE APPLIED UNIFORMLY BY HAND OR BY MECHANICAL EQUIPMENT.
- 2. IF THE AREA WILL EVENTUALLY BE COVERED WITH PERENNIAL VEGETATION, 20-30 POUNDS OF NITROGEN PER ACRE IN ADDITION TO THE NORMAL AMOUNT SHALL BE APPLIED TO OFFSET THE UPTAKE OF NITROGEN CAUSED BY THE
- DECOMPOSITION OF THE ORGANIC MULCHES. 3. CUTBACK ASPHALT SHALL BE APPLIED UNIFORMLY. CARE SHOULD BE TAKEN IN AREAS OF PEDESTRIAN TRAFFIC DUE TO
- PROBLEMS OF "TRACKING IN" OR DAMAGE TO SHOES, CLOTHING, ETC. 4. APPLY POLYETHYLENE FILM TO EXPOSED AREAS.

ANCHORING MULCH

- 1. STRAW OR HAY MULCH CAN BE PRESSED INTO THE SOIL WITH A DISK HARROW WITH THE DISK SET STRAIGHT OR WITH A SPECIAL "PACKER DISK". DISKS MAY BE SMOOTH OR SERRATED AND SHOULD BE 20 INCHES OR MORE IN DIAMETER AND 8 TO 12 INCHES APART. THE EDGES OF THE DISK SHOULD BE DULL ENOUGH NOT TO CUT THE MULCH BUT TO PRESS IT INTO THE SOIL LEAVING MUCH OF IT IN AN ERECT POSITION. STRAW OR HAY MULCH SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION. STRAW OR HAY MULCH SPREAD WITH SPECIAL BLOWER-TYPE EQUIPMENT MAY BE ANCHORED WITH EMULSIFIED ASPHALT (GRADE AE-5 OR SS-1). THE ASPHALT EMULSION SHALL BE SPRAYED ONTO THE MULCH AS IT IS EJECTED FROM THE MACHINE. USE 100 GALLONS OF EMULSIFIED ASPHALT AND 100 GALLONS OF WATER PER TON OF MULCH. TACKIFIERS AND BINDERS CAN BE SUBSTITUTED FOR EMULSIFIED ASPHALT. PLEASE REFER TO SPECIFICATION Tb -TACKIFIERS AND BINDERS. PLASTIC MESH OR NETTING WITH MESH NO LARGER THAN 1 INCH BY ONE INCH SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- 2. NETTING OF THE APPROPRIATE SIZE SHALL BE USED TO ANCHOR WOOD WASTE. OPENINGS OF THE NETTING SHALL NOT BE LARGER THAN THE AVERAGE SIZE OF THE WOOD WASTE CHIPS.
- 3. POLYETHYLENE FILM SHALL BE ANCHOR TRENCHED AT THE TOP AS WELL AS INCREMENTALLY AS NECESSARY.

Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

SEEDING RATES FOR TEMPORARY SEEDING

SEEDING RATES FOR TEMPORART SEEDING			LEDING
SPECIES RATE PER 1,000 SF		RATE PER ACRE*	PLANTING DATES**
RYE	3.9 POUNDS	3 bu.	9/1-3/1
RYEGRASS	0.9 POUND	40 lbs.	8/15-4/
ANNUAL LESPEDEZA	0.9 POUND	40 lbs.	1/15-3/
WEEPING LOVEGRASS	0.1 POUND	4 lbs.	2/15-6/1
SUDANGRASS	1.4 POUNDS	60 lbs.	3/1-8/1
BROWNTOP	0.9 POUND	40 lbs.	4/1-7/1

WHEAT 4.1 POUNDS 9/15-2/1 *UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES.
**SEEDING DATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE

VARIATIONS AND CONDITIONS.

Ds3 <u>DISTURBED AREA STABILIZATION</u>

(WITH PERMANENT VEGETATION) SEEDING RATES FOR PERMANENT SEEDING

SPECIES	RATE PER 1,000 SF	RATE PER ACRE*	PLANTING DATES**
BAHIA	1.4 POUNDS	60 lbs.	1/1-12/31
BERMUDA	0.2 POUND	10 lbs.	2/15-7/1
CENTIPEDE	BLOCK SOD ONLY	BLOCK SOD ONLY	4/1-7/1
LESPEDEZA	1.7 POUNDS	75 lbs.	1/1-12/31
WEEPING LOVEGRASS	0.1 POUND	4 lbs.	2/1-6/15
OWITOU OD A CO	O O DOUND	40.11	7/45 0/4

SWITCHGRASS 0.9 POUND 40 lbs. 3/15-6/1 *UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES.
**SEEDING DATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND CONDITIONS.

EROSION CONTROL LEGEND

Ds1 DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1 A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2 DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2 ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3 DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3 ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

Released for Construction

COORD #20110234

DWG #20200911 SPX ADD

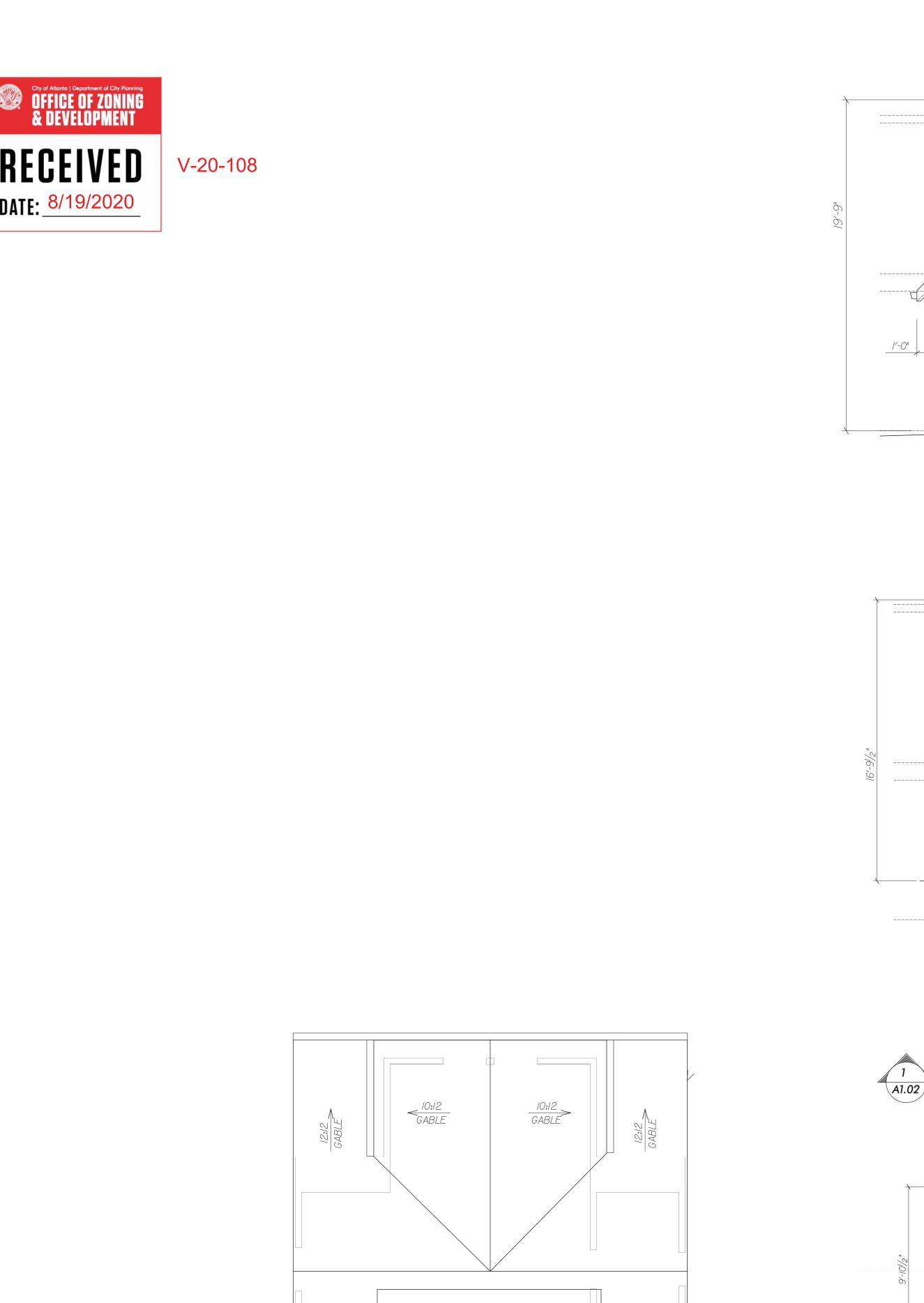
LOT 33 BLOCK E PLAT OF ADDITION	O BLOCKS D AND E	SITE PLAN/VARIANCE PREPARED FOR: SHEET 3 OF	
BRIARWOOD SUBDIVISION UNIT		KEVIN MILAM	
LAND LOT 2 17TH DISTRICT SECT	N	TEVIN MILAM	
FULTON COUNTY, GEORGIA DB.51177/	PG.262 PB.12/PG.137	PROPERTY ADDRESS: 1164 McLYNN AVENUE NE ATLANTA, GA 30306	ORG
FIELD WORK DATE MAY 16, 2020 PRINTED/S	GNED JUN 16, 2020		G REGISTERED A
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 24" x 36"		No/8197

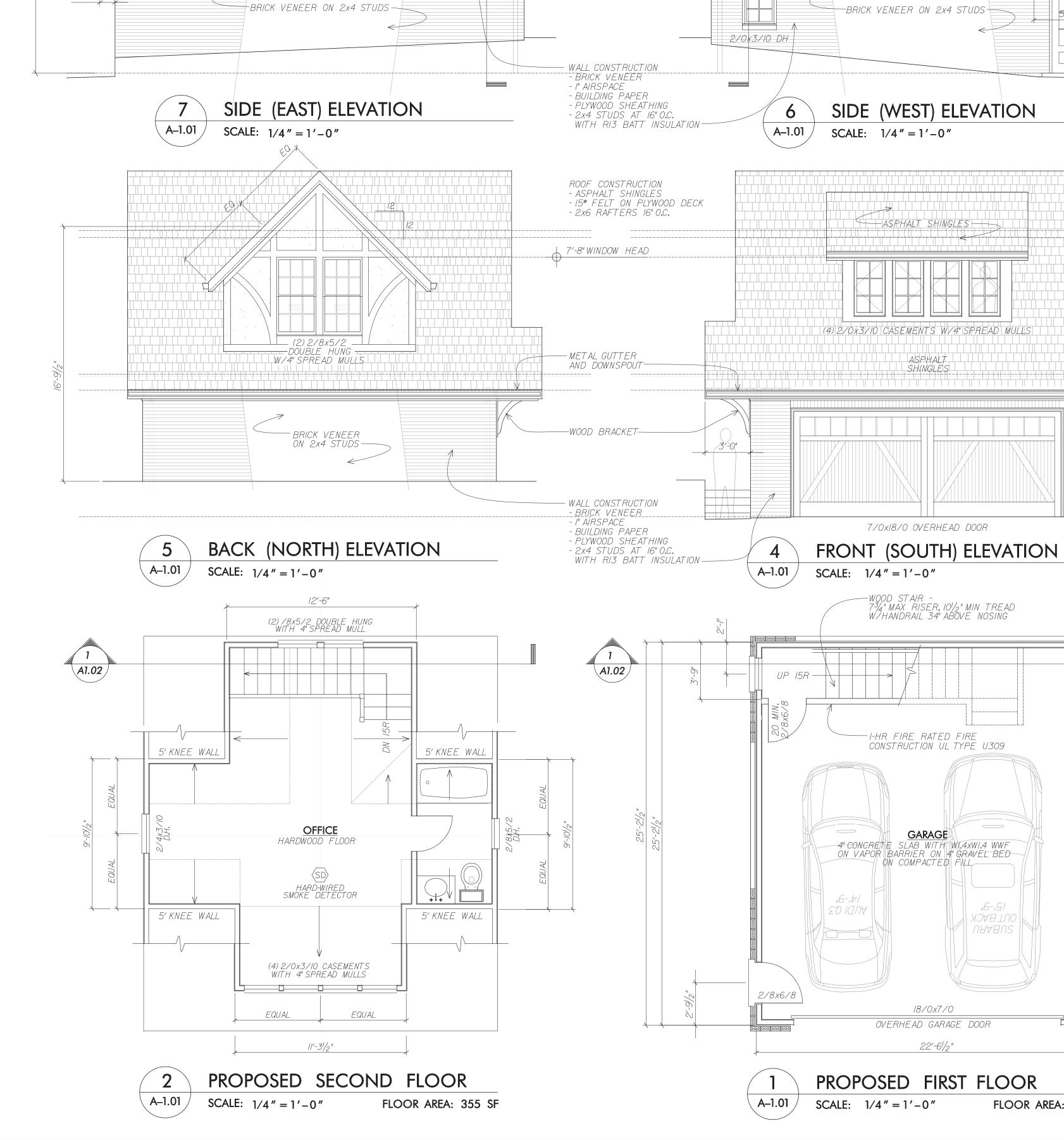
LAND SURVEYING SERVICES

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY. SURVEY LAND EXPRESS, INC

24 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM







A1.02

7'-8" WINDOW HEAD

- 2x4 STUDS AT 16" O.C. WITH RI3 BATT INSULATION

-METAL OGEE GUTTER
WITH ROUND DOWNSPOUTS

2/8x5/2

WOOD TRIM - Ix8, JOINT MOULD, Ix6

17'-0" WINDOW HEAD

—WALL CONSTRUCTION - 'HARDI-BOARD' - BUILDING PAPER

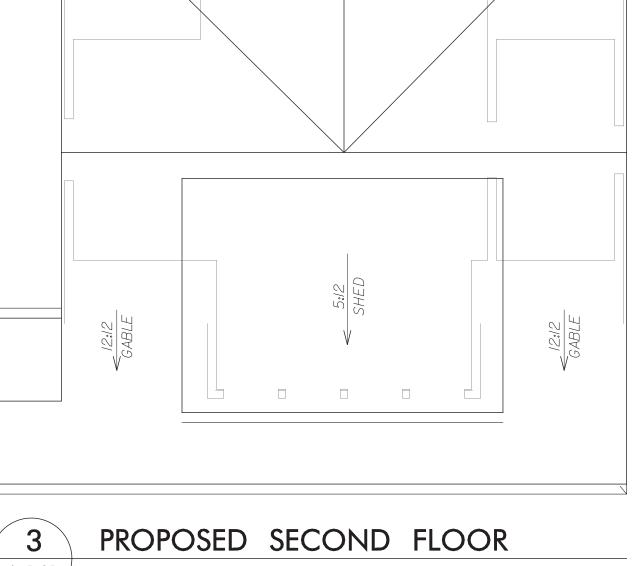
- PLYWOOD SHEATHING

ASPHALT SHINGLES

2/4x3/10

DOUBLE HUNG

WOOD TRIM - Ix8, JOINT MOULD, Ix6



SCALE: 1/4'' = 1' - 0''

A1.01

FLOOR AREA: 533 SF

PRINT DATE 07/07/20

REVISIONS

9'-0" CEILING HGT. 8'-4" TOP PLATE

9'-45%" SUBFLOOR N 8'-4" TOP PLATE

-WOOD BRACKET

O'-O" GARAGE SLAB

9'-0" CEILING HGT. 8'-4" TOP PLATE

9'-45%" SUBFLOOR

8'-4" TOP PLATE

O'-O" GARAGE SLAB

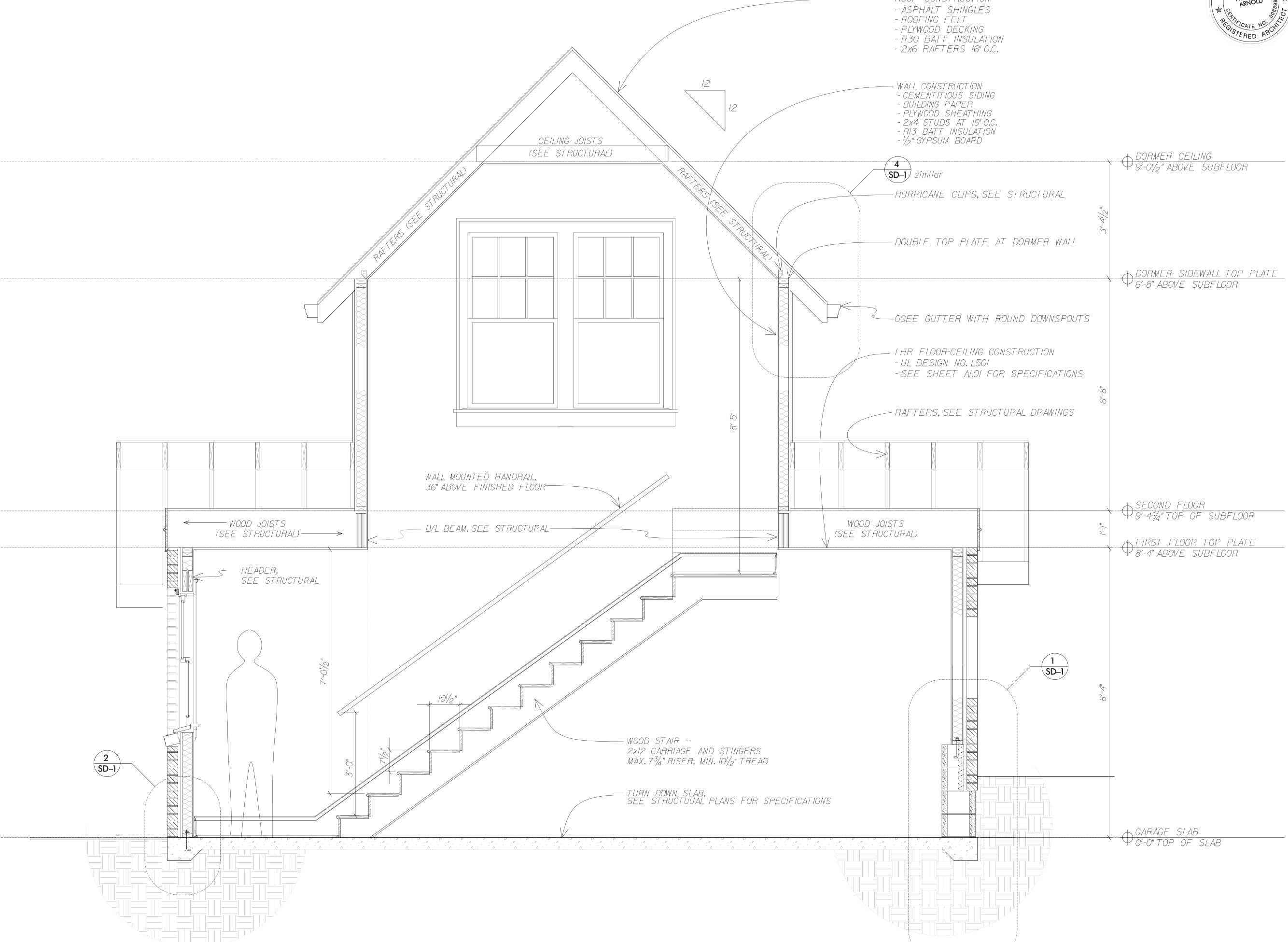
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PHASE



WALL / BUILDING SECTION THRU STAIRCASE

SCALE: 3/4'' = 1'-0''

PRINT DATE 07/07/20

REVISIONS

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306

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A1.02

PHASE

MINIMUM DESIGN LOADS

I. DESIG	GN LOADS ARE ALL DEAD LOADS PLUS THE FOLLOWING LIVE LOADS:	
1.1.	MAIN FLOORS @ PUBLIC AREAS	40
1.2.	DECKS	40
1.3.	PORCHES	40
1.4.	STAIRS \$ 2 FAMILY RESIDENCES	40
1.5.	UNINHABITABLE ATTICS w/OUT STORAGE	10
1.6.	UNINHABITABLE ATTICS w/ STORAGE	20
1.7.	HABITABLE ATTICS	30

1.8. ELEVATED GARAGES: 2,000 LB POINT LOAD OVER $4\frac{1}{2}$ " AREA AT ANY LOCATION OR

2.1. BASIC WIND SPEED -- 3 SECOND GUST 2.2. IMPORTANCE FACTOR 2.3 WIND EXPOSURE CATEGORY

2.4. DESIGN WIND PRESSURE FOR COMPONENTS & CLADDING 2.4.1. ROOF (ASD) 2.4.2. WALL (ASD)

3. SNOW GROUND LOAD, pg 4. ALL DESIGN LOADS ARE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) W/ GEORGIA

GENERAL STRUCTURAL NOTES

- 1. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE DRAWINGS OF ALL OTHER DISCIPLINES AND THE SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF OTHER TRADES AS TO SLEEVES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES AND OTHER ITEMS TO BE PLACED OR SET IN THE STRUCTURAL
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK. THE ENGINEER WILL NOT ADVISE ON NOR ISSUE DIRECTION AS TO SAFETY PRECAUTIONS AND
- 3. THE STRUCTURAL DRAWINGS HERE IN REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL WORK AND CONNECTIONS HAVE BEEN COMPLETED. THE INVESTIGATION, DESIGN, SAFETY, ADEQUACY AND INSPECTION OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 4. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE METHODS, TECHNIQUES, AND SEQUENCES OF THE PROCEDURES TO PERFORM THE WORK. THE SUPERVISION OF THE WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 5. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL BY THE ENGINEER.
- 6. ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH THE SUPPLIER'S INSTRUCTIONS AND REQUIREMENTS.
- 7. LOADING APPLIED TO THE STRUCTURE DURING THE PROCESS OF CONSTRUCTION SHALL NOT EXCEED THE SAFE LOAD-CARRYING CAPACITY OF THE STRUCTURAL MEMBERS. THE LIVE LOADING USED IN THE DESIGN OF THIS STRUCTURE ARE INDICATED IN THE "DESIGN CRITERIA NOTES". DO NOT APPLY ANY CONSTRUCTION LOADS UNTIL STRUCTURAL FRAMING IS PROPERLY CONNECTED TOGETHER AND UNTIL ALL TEMPORARY BRACING IS IN PLACE.
- 8. ALL ASTM AND OTHER REFERENCES ARE PER THE LATEST EDITIONS OF THESE STANDARDS, UNLESS NOTED OTHERWISE.
- 9. SHOP DRAWINGS AND OTHER ITEMS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. ALL SHOP DRAWINGS SHALL BE REVIEWED BY THE GENERAL CONTRACTOR BEFORE SUBMITTAL. THE ENGINEER'S REVIEW IS TO BE FOR CONFORMANCE WITH THE DESIGN CONCEPT AND GENERAL COMPLIANCE WITH THE RELEVANT CONTRACT DOCUMENTS. THE ENGINEER'S REVIEW DOES NOT RELIEVE THE CONTRACTOR OF THE SOLE RESPONSIBILITY TO REVIEW CHECK AND COORDINATE THE SHOP DRAWINGS PRIOR TO SUBMISSIONS. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR THE ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS, DIMENSIONS, ETC.
- II. PROVIDE ADEQUATE AND PROPER FLASHING WHEREVER REQUIRED AGAINST WATER INTRUSION.

CONDITION MUST BE INCORPORATED INTO ENGINEERING ASPECTS.

- 12. THE DESIGNS HEREIN BELONG TO THE STRUCTURAL ENGINEER OF RECORD. A LICENSE TO CONSTRUCT THIS BUILDING FROM THESE PLANS AT A SINGLE SITE IS GRANTED TO THE CONTRACTED CLIENT. LICENSE IS NON-TRANSFERABLE. ANY BREACH OF THIS LICENSE SHALL ENTITLE THE STRUCTURAL ENGINEER OF RECORD TO PURSUE ANY AND ALL REMEDIES, AT LAW OR EQUITY, INCLUDING WITHOUT LIMITATION, INJUNCTIVE RELIEF TO PREVENT OR CEASE SUCH BREACH.
- 13. IT IS THE RESPONSIBILITY OF PURCHASER OF PLANS TO ENSURE THE FOLLOWING BEFORE CONSTRUCTION. 13.1. CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES IN THE AREA THE PROJECT IS TO
- 13.3. ENGINEERING CONSULTANTS MUST INCORPORATE ACTUAL SITE CONDITIONS. 13.4. ANY MODIFICATIONS TO THESE DOCUMENTS MUST BE MADE BY THE STRUCTURAL ENGINEER OF RECORD. 13.5. PLANS INDICATE LOCATION ONLY. SITE CONDITIONS MUST BE VERIFIED BY OTHERS AND ACTUAL SITE
- 14. FOR ANY REASON, IF ANY PART OF THIS STRUCTURE (i.e. FLOORS, CEILINGS, ...etc.) IS DESIGNED BY OTHER PARTIES, THE STRUCTURAL ENGINEER OF RECORD CLAIMS NO RESPONSIBILITY FOR, BUT NOT LIMITED TO, THE LATERAL RESISTANCE, STABILITY OF THE STRUCTURE, PROPER TRANSFER OF DESIGN LOADS, ANCHORAGE, HOLD DOWN, AND ANY OTHER ATTACHMENTS OR CONNECTION METHODS.
- 15. ALL SHOP DRAWINGS SUBMITTED FOR APPROVAL (IF INCLUDED IN THE CONTRACT) NEED TO BE SEALED, SIGNED, AND DATED BY A REGISTERED ENGINEER IN THE STATE THE PROJECT IS TO BE BUILT.

- 1. ALL WOOD FRAMING MATERIAL SHALL BE SURFACED DRY AND USED AT 19% MAXIMUM MOISTURE CONTENT.
- 2. ALL STUD AND WALL FRAMING SHALL BE EITHER NO. 2 GRADE SOUTHERN YELLOW PINE (SYP) OR NO. 2 GRADE SPRUCE-PINE-FIR (SPF).
- 3. ALL JOIST, RAFTER, AND MISCELLANEOUS FRAMING SHALL BE NO. 2 GRADE SOUTHERN YELLOW PINE. PROVIDE FULL-DEPTH (OR METAL) BRIDGING AT MID-SPAN AND AT A MAXIMUM SPACING OF 8'-O" O.C. IN BETWEEN.
- 4. ALL FRAMING EXPOSED TO THE WEATHER OR IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE-TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVER'S ASSOCIATION SPECIFICATIONS. WHERE POSSIBLE, ALL CUTS AND HOLES SHOULD BE COMPLETED BEFORE TREATMENT. CUTS AND HOLES DUE TO ON-SITE FABRICATION SHALL BE BRUSHED WITH 2 COATS OF COPPER NAPHTHENATE SOLUTION CONTAINING A MINIMUM OF 2% METALLIC COPPER IN SOLUTION (PER AWPA STD. M4).
- 5. THE CONTRACTOR SHALL CAREFULLY SELECT LUMBER TO BE USED IN LOAD BEARING APPLICATIONS. THE LENGTH OF SPLIT ON THE WIDE FACE OF 2" NOMINAL LOAD BEARING FRAMING SHALL BE LIMITED TO THE SPLIT ON THE WIDE FACE OF 3" (NOMINAL) AND THICKER LUMBER SHALL BE LIMITED TO 1/2 OF THE NARROW FACE DIMENSION.
- 6. ALL NAILING NOT OTHERWISE INDICATED SHALL BE IN ACCORDANCE WITH TABLE R602.3.(1) OF THE IRC OR SCHEDULE 2304.9.1 OF THE IBC. NAILING SHALL NOT BE OVERDRIVEN.
- 7. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS THAT RUN PARALLEL WITH JOISTS AND UNDER ALL CONCENTRATED LOADS FROM FRAMING ABOVE.
- 8. PROVIDE HEADER BEAMS OF THE SAME SIZE AS JOISTS OR RAFTERS TO FRAME AROUND OPENINGS IN THE PLYWOOD DECK UNLESS NOTED OTHERWISE
- 9. STRUCTURAL STEEL PLATE CONNECTORS SHALL CONFORM TO ASTM A-36 SPECIFICATIONS AND BE 1/4" THICK UNLESS OTHERWISE INDICATED. PROVIDE WASHERS 3/4" DIAMETER UNLESS OTHERWISE INDICATED. PROVIDE WASHERS FOR ALL BOLT HEADS AND NUTS IN CONTACT WITH WOOD SURFACES.
- 10. BOLT HOLES SHALL BE CAREFULLY CENTERED AND DRILLED NOT MORE THAN 1/16" LARGER THAN THE BOLT DIAMETER. BOLTED CONNECTIONS SHALL BE SNUG - TIGHT BUT NOT TO THE EXTENT OF CRUSHING WOOD UNDER WASHERS.
- II. PRE-FABRICATED STRUCTURAL COMPOSITE LUMBER (LVL, PSL, LSL) HEADERS AND BEAMS SHALL BE MANUFACTURED BY BOISE CASCADE OR APPROVED EQUAL. CONNECTIONS AND ATTACHMENT OF THESE MEMBERS IS TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS UNLESS NOTED SPECIFICALLY ON PLAN. DO NOT CUT OR NOTCH MATERIAL WITHOUT THE MANUFACTURER'S APPROVAL.
- 12. PREFABRICATED METAL JOIST HANGERS, HURRICANE CLIPS, HOLD-DOWN ANCHORS, AND OTHER ACCESSORIES SHALL BE AS MANUFACTURED BY "SIMPSON STRONG-TIE COMPANY", TEL (800-999-5099), OR APPROVED EQUAL. INSTALL ALL ACCESSORIES PER THE MANUFACTURER'S REQUIREMENTS. ALL STEEL SHALL HAVE A MINIMUM THICKNESS OF 0.04 INCHES (PER ASTM A-446, GRADE A) AND BE GALVANIZED (COATING G60).
- 13. ALL HARDWARE AND FASTENERS USED FOR PRESSURE TREATED WOOD, TIMBER, AND LUMBER SHALL BE MADE FROM APPROVED CORROSIVE-RESISTANT MATERIALS.
- 14. ALL EXTERIOR WALLS TO BE CONSIDERED SHEAR WALLS, THEREFORE, ALL EXTERIOR WALLS TO BE FULLY SHEATHED AND FULLY BLOCKED AT ALL EDGES. ALL COLUMNS TO BE BRACED AT THE TOP AND BOTTOM. ALL CONTINUOUS COLUMNS TO BE BRACED AT EACH FLOOR LEVEL, UNLESS NOTED OTHERWISE.
- 15. ALL WOOD COLUMNS TO BE BRACED AT THE TOP AND THE BOTTOM. THEREFORE, ON ALL WOOD COLUMNS, USE THE APPLICABLE SIMPSON ABU POST BASE AND CC/ECC OR PC/EPC POST CAP.

FOUNDATION NOTES

 $V_{ult} = 115$ MPH

-13.0/+10.0 PSF

-14.0/+13.6 PSF

- . ALL FOOTINGS SHALL BEAR ON UNDISTURBED, FIRM, NATURAL SOIL OR ENGINEERED SOIL CAPABLE OF SUPPORTING A MINIMUM DESIGN BEARING PRESSURE OF 2.000 PSF UNLESS DATA TO SUBSTANTIATE THE USE OF A HIGHER VALUE ARE SUBMITTED AND APPROVED. ALL FOUNDATION EXCAVATIONS SHALL BE EVALUATED BY THE GEOTECHNICAL ENGINEER / TESTING AGENCY PRIOR TO POURING FOUNDATION
- 2. ALL FOUNDATION CONCRETE SHALL OBTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
- 3. ALL REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60.

JUNCTIONS UNLESS OTHERWISE NOTED.

- 4. UNLESS NOTED OTHERWISE, MINIMUM CONCRETE COVER SHALL BY PROVIDED IN ACCORDANCE WITH ACI-2005 SECTION 7.7.1.
- 5. ALL REINFORCING MARKED CONTINUOUS (CONT.) ON THE PLANS AND DETAILS SHALL BE BENT AND/OR LAPPED A MINIMUM OF 48 TIMES THE BAR DIAMETER AT ALL SPLICES, CORNERS, AND ANY OTHER
- 6. NO UNBALANCED BACK FILLING SHALL BE DONE AGAINST FOUNDATION WALLS UNLESS WALLS ARE SECURELY BRACED AGAINST OVERTURNING EITHER BY TEMPORARY BRACING OR BY PERMANENT CONSTRUCTION.
- 7. PRIOR TO COMMENCING ANY FOUNDATION WORK, COORDINATE WORK WITH ANY EXISTING UTILITIES. FOUNDATIONS SHALL BE LOWERED WHERE REQUIRED TO AVOID UTILITIES.
- 8. PROVIDE CONSTRUCTION JOINTS IN ALL CONCRETE WORK AS REQUIRED BY THE ACI CODE OR AS SHOWN ON THE INDIVIDUAL DETAILS.
- 9. PROVIDE PROPER AND ADEQUATE DRAINAGE BEHIND ANY TYPE OF RETAINING AND/OR BASEMENT WALLS AS THE SITE CONDITIONS REQUIRE IN THE FIELD.
- 10. ALL FOOTINGS AND FOUNDATIONS SHALL BE PLACED BELOW THE "FROST DEPTH" OF THE GEOGRAPHIC AREA OF THE PROJECT.
- II. IN THE PRESENCE OF THE GROUND WATER TABLE ABOVE ANY FOOTING OR FOUNDATION, THE GENERAL CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER OF RECORD FOR ANY DESIGN REVISION.
- 12. ALL STEEL EXPOSED TO WATER, MOISTURE, AND / OR CORROSIVES SHALL BE COVERED WITH APPROPRIATE PROTECTIVE APPROVED COATING MATERIALS.

- I. ALL STRUCTURAL STEEL SHALL CONFORM TO THE CURRENT EDITION OF THE "MANUAL OF STEEL CONSTRUCTION" OF THE AISC.
- 2. UNLESS NOTED OTHERWISE, ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING ASTM SPECIFICATIONS:

MEMBER STRUCTURAL TUBING ROLLED SHAPES PLATES CONNECTION BOLTS ANCHOR BOLTS THEFADED RODS	ASTM A-500 (GRADE B) A-992 A-36 A-325 (MIN. TYPE N) F1554 A-36	MIN. STRENGTH 46 KSI 50 KSI 36 KSI 92 KSI 36 KSI 36 KSI
THREADED RODS	A-36	36 KSI
NONSHRINK GROUT	C-1107	8,000 PSI

- 3. UNLESS NOTED OTHERWISE, ALL CONNECTIONS SHALL BE SHEAR TYPE CONNECTIONS EXCEPT AS NOTED OTHERWISE AND DESIGNED BY THE FABRICATOR FOR THE FACTORED SHEAR FORCES INDICATED ON PLAN IN ACCORDANCE WITH THE AISC SPECIFICATIONS FOR LOAD AND RESISTANCE FACTOR DESIGN. MINIMUM BOLT DIAMETER SHALL BE 3/4". UNLESS NOTED OTHERWISE, ALL BOLTS SHALL BE SHEAR/BEARING TYPE BOLTS AND BE "SNUG-TIGHT".
- 4. ALL WELDING SHALL BE IN ACCORDANCE WITH AWS DI.I USING E70XX ELECTRODES. UNLESS NOTED OTHERWISE, PROVIDE CONTINUOUS MINIMUM SIZED FILLET WELDS PER AWS REQUIREMENTS. ALL FILLER MATERIAL SHALL HAVE A MINIMUM YIELD STRENGTH OF 70 KSI.
- 5. HOLES IN STEEL SHALL BE DRILLED OR PUNCHED. ALL SLOTTED HOLES SHALL BE PROVIDED WITH SMOOTH EDGES. BURNING OF HOLES AND TORCH CUTTING AT THE SITE IS NOT PERMITTED.
- 6. UNLESS NOTED OTHERWISE, ALL STRUCTURAL STEEL PERMANENTLY EXPOSED TO VIEW SHALL BE SHOP PAINTED WITH ONE COAT OF SSPC 15-68. TYPE I (RED OXIDE) PAINT.
- 7. THE STRUCTURAL STEEL ERECTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING (SEE 'GENERAL STRUCTURAL NOTES').
- 8. COLUMNS, ANCHOR BOLTS, BASE PLATES, ETC., HAVE BEEN DESIGNED FOR THE FINAL COMPLETED CONDITION AND HAVE NOT BEEN INVESTIGATED FOR POTENTIAL LOADING ENCOUNTERED DURING STEEL ERECTION AND CONSTRUCTION. ANY INVESTIGATION OF THE COLUMNS, ANCHOR BOLTS, BASE PLATES, ETC. FOR ADEQUACY DURING THE STEEL ERECTION AND CONSTRUCTION PROCESS IS THE SOLE
- 9. PROTECTIVE COATINGS DAMAGED DURING THE TRANSPORTING, ERECTING, AND FIELD WELDING PROCESSES SHALL BE REPAIRED IN THE FIELD TO MATCH THE SHOP APPLIED COATING.
- IO. UNLESS NOTED OTHERWISE, ALL BEAM CONNECTIONS SHALL BE STANDARD FRAMED OR SEATED CONNECTIONS AS SHOWN IN THE AISC MANUAL OF STEEL CONSTRUCTION. UNLESS GREATER REACTIONS ARE INDICATED ON THE DRAWINGS, THE CONNECTIONS SHALL DEVELOP AT LEAST ONE HALF OF THE TOTAL UNIFORM LOAD CAPACITY TABULATED IN THE TABLES OF THE MANUAL FOR THE GIVEN SIZE AND SPAN OF THE BEAM IN QUESTION. IN NO CASE SHALL THE LENGTH OF THE FRAME CONNECTIONS BE LESS THAN ONE HALF OF THE "T" DISTANCE OF THE BEAM WEB.
- I. PROVIDE STIFFENER PLATES ON EACH SIDE OF THE WEB OF BEAM OR GIRDER AT POINTS OF CONCENTRATED LOADS OR SEATED BEAM BEARING LOCATIONS. MINIMUM STIFFENER THICKNESS SHALL BE 1/2" UNLESS NOTED OTHERWISE.
- 12. ALL STEEL COMPONENTS IN CONTACT WITH EACH OTHER TO BE WELDED WITH THE LARGER OF "WELD OR MIN. SIZED WELDS PER AISC REQUIREMENTS. WELD ALL AROUND EDGES AND PERIMETERS OF ALL AFFECTED MEMBERS, UNLESS NOTED OTHERWISE ON THE INDIVIDUAL DETAILS.
- 13. ALL STEEL EXPOSED TO WATER, MOISTURE, AND / OR CORROSIVES SHALL BE COVERED WITH APPROPRIATE PROTECTIVE APPROVED COATING MATERIALS.
- 14. ALL SHOP DRAWINGS SUBMITTED FOR APPROVAL (IF INCLUDED IN THE CONTRACT) NEED TO BE SEALED. SIGNED, AND DATED BY A REGISTERED ENGINEER IN THE STATE THE PROJECT IS TO BE BUILT.

PREFABRICATED WOOD JOIST NOTES

- I. PREFABRICATED WOOD I-JOISTS SHALL BE DESIGNED AND FURNISHED IN ACCORDANCE WITH A CURRENT CODE-ACCEPTED EVALUATION REPORT. STRUCTURAL CAPACITIES AND DESIGN PROVISIONS SHALL BE ESTABLISHED AND MONITORED IN ACCORDANCE WITH ASTM D-5055.
- 2. WOOD I-JOISTS SHALL BE ERECTED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY AND PERMANENT BRACING AS REQUIRED FOR SAFE ERECTION AND PERFORMANCE OF THE JOISTS.
- 3. WOOD I-JOIST SHALL NOT BE CUT, NOTCHED, COPED, DRILLED, NOR OTHERWISE ALTERED IN ANY WAY UNLESS SPECIFICALLY CONDUCTED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN REQUIREMENTS. DO NOT CUT FLANGES.
- 4. WOOD I-JOISTS SHALL BE PRODUCED BY A CODE ACCEPTED FABRICATOR WITH A MINIMUM OF FIVE (5) YEARS EXPERIENCE PRODUCING PREFABRICATED WOOD I-JOISTS. QUALITY CONTROL SHALL BE AUDITED BY AN AGENCY ACCEPTED BY THE "BUILDING OFFICIALS & CODE ADMINISTRATORS, INC."
- 5. WEB PANELS MUST BE JOINED WITH A MACHINE AND GLUED "V" JOINT TO FORM A CONTINUOUS MEMBER. ALL JOINTS SHALL BE GLUED USING AN EXTERIOR TYPE ADHESIVE PER ASTM D 2559.
- 6. WOOD I-JOISTS SHALL BE STORED IN BUNDLES IN AN UPRIGHT POSITION AND AWAY FROM GROUND CONTACT. DAMAGE TO JOISTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE JOIST SUPPLIER. FIELD REPAIR OR MODIFICATION OF JOISTS MUST NOT BE MADE WITHOUT THE WRITTEN APPROVAL BY THE SUPPLIER, EXCEPT FOR TRIMMING TO CORRECT LENGTH.
- 7. WOOD I-JOISTS SHALL BE CAREFULLY HANDLED TO PREVENT DAMAGE AND DISTORTION. EACH JOIST SHALL BE ANCHORED AND BRACED AS IT IS ERECTED USING BLOCKING PANELS AND ANCHORAGE INDICATED (AND PER THE SUPPLIERS REQUIREMENTS). ERECTOR SHALL PROVIDE SUPPLEMENTAL LATERAL BRACING OF THE TOP FLANGE UNTIL SHEATHING IS PROPERLY NAILED.
- 8. AVOID ALL PLUMBING AND MECHANICAL, IF POSSIBLE. OTHERWISE ALL HOLES, NOTCHES, PENETRATIONS OR ALTERATIONS TO I-JOISTS OR FLOOR JOISTS ARE TO MEET THE MANUFACTURER'S SPECIFICATIONS AND REQUIREMENTS.
- 9. ALL JOISTS SUPPORTING NON-STACKING LOAD BEARING WALLS NEED TO BE REINFORCED FOR SHEAR AND / OR BENDING ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. IO. REFER TO THE FRAMING PLANS FOR ADDITIONAL NOTES.
- II. ALL SHOP DRAWINGS SUBMITTED FOR APPROVAL (IF INCLUDED IN THE CONTRACT) NEED TO BE SEALED, SIGNED, AND DATED BY A REGISTERED ENGINEER IN THE STATE THE PROJECT IS TO BE BUILT.

CAST-IN-PLACE CONCRETE NOTES

- CONCRETE MIXES SHALL BE DESIGNED PER ACI 30 I USING PORTLAND CEMENT, AGGREGATES AND ADMIXTURES CONFORMING TO ASTM REQUIREMENTS. CONCRETE SHALL BE READY-MIXED IN ACCORDANCE WITH ASTM REQUIREMENTS.
- 2. CONCRETE SHALL CONFORM TO THE FOLLOWING COMPRESSIVE STRENGTH, SLUMP AND WATER/CEMENT RATIO REQUIREMENTS:

CONCRETE	MIN. f'c (28 DAYS)	SLUMP*	W/C RATIO
COLUMNS	4,000 PSI	2" TO 4"	.46
ELEVATED SLABS	4,000 PSI	2" TO 4"	.46
CONCRETE NOT NOTED	3,000 PSI	2" TO 4"	.50
FOUNDATION	3,000 PSI	2" TO 4"	.50
SLABS-ON-GRADE	3,000 PSI	2" TO 4"	.50

- 3. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE ACI 30 I "SPECIFICATIONS FOR STRUCTURAL CONCRETE."
- 4. ALL REINFORCING STEEL SHALL CONFORM TO ASTM REQUIREMENTS GRADE 60. ALL WELDING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH AWS REQUIREMENTS. EPOXY COATED REINFORCING SHALL CONFORM TO ASTM REQUIREMENTS.
- 5. ALL WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM REQUIREMENTS.
- 6. ALL REINFORCING STEEL SHALL BE SET AND TIED IN PLACE PRIOR TO POURING OF CONCRETE, EXCEPT THAT VERTICAL DOWELS FOR MASONRY WALL REINFORCING MAY BE "FLOATED" IN PLACE. DO NOT FIELD BEND BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE UNLESS SPECIFICALLY INDICATED OR APPROVED BY THE ENGINEER.
- REINFORCING STEEL, INCLUDING HOOKS AND BENDS, SHALL BE DETAILED IN ACCORDANCE WITH LATEST EDITION OF THE ACI 3 | 5. ALL REINFORCED STEEL INDICATED AS BEING CONTINUOUS ("CONT.") SHALL BE LAPPED WITH A TYPE 2 LAP SPLICE UNLESS NOTED OTHERWISE.
- 8. UNLESS NOTED OTHERWISE, MINIMUM CONCRETE COVER SHALL BE PROVIDED IN ACCORDANCE WITH ACI-2005 SECTION 7.7.1.
- 9. BAR SUPPORTS SHALL BE PROVIDED FOR ALL REINFORCING STEEL TO INSURE MINIMUM SUPPORT AND HOLDING BARS SHALL BE PER CONCRETE COVER. BAR SUPPORTS SHALL BE PLASTIC TIPPED OR
- 10. UNLESS NOTED OTHERWISE, ALL ONE WAY SLABS SHALL BE REINFORCED AS FOLLOWS: 10.1. BOTTOM REINFORCING
- 10.1.1. #4 @ 16" 0.0 10.1.2. BETWEEN SUPPORTS 10.2. TOP REINFORCING 10.2.1. #4 @ 12" O.C. 10.2.2. CENTERED ON SUPPORTS 10.3. TEMPERATURE REINFORCING

10.3.1. #4 @ 18" O.C.

10.3.2 TRANSVERSE BOTTOM

II. UNLESS OTHERWISE NOTED ON THE INDIVIDUAL DETAILS, ALL CONCRETE WALLS (OTHER THAN RETAINING WALLS AND BASEMENT WALLS) SHALL HAVE MINIMUM REINFORCEMENT AS FOLLOWS:

WALL THICKNESS	HORIZONTAL	VERTICAL	LOCATION
4" TO 6"	#4 @ 16" O.C.	#4 @ 16" O.C.	CENTERED
8"	#4 @ 12" O.C.	#4 @ 12" O.C.	CENTERED
1 O"	#4 @ 16" O.C.	#4 @ 16" O.C.	EACH FACE
12"	#4 @ 12" O.C.	#4 @ 2" O.C.	EACH FACE

- 12. ALL EDGES OF PERMANENTLY EXPOSED CONCRETE SURFACES SHALL BE CHAMFERED UNLESS NOTED
- 13. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION THAT ALL MATERIALS CONFORM TO THE QUALITY STANDARDS SPECIFIED IN THE APPLICABLE BUILDING CODE.
- 14. IN ACCORDANCE WITH THE APPLICABLE CODE, SPECIAL INSPECTIONS ARE REQUIRED FOR THE CONCRETE WORK. THE OWNER / CONTRACTOR WILL HIRE THE SPECIAL INSPECTOR TO PERFORM ALL REQUIRED
- 15. IN ORDER TO AVOID CONCRETE SHRINKAGE OR CRACKING, PLACE CONCRETE SLABS IN ALTERNATING LANE PATTERN. THE MAXIMUM LENGTH OF SLAB CAST IN ANY ONE CONTINUOUS POUR SHALL BE LIMITED
- IG. FORM WORK SHALL REMAIN IN PLACE UNTIL CONCRETE HAS OBTAINED AT LEAST 90% OF ITS 28 DAY COMPRESSIVE STRENGTH. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND RE-SHORING.
- 17. PROVIDE CONSTRUCTION JOINTS IN ALL CONCRETE WORK AS REQUIRED BY THE ACI CODE OR AS SHOWN ON THE INDIVIDUAL DETAILS.
- 18 ALL STEEL EXPOSED TO WATER MOISTLIRE AND LOR CORROSIVES SHALL BE COVERED WITH APPROPRIATE PROTECTIVE APPROVED COATING MATERIALS.

THE UNIT STRENGTH METHOD OF ACI 530.

- MASONRY CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 350) PUBLISHED BE THE AMERICAN CONCRETE
- 2. HOLLOW LOAD-BEARING MASONRY UNITS SHALL CONFORM TO ASTM REQUIREMENTS. THE MINIMUM PRISM COMPRESSIVE STRENGTH (f 'm) SHALL BE 1,550 PSI AT AN AGE OF 28 DAYS, AS DETERMINED BY
- 3. FILL ALL BOND BEAMS AND REINFORCED CELLS SOLIDLY WITH GROUT. GROUT SHALL CONFORM TO ASTM REQUIREMENTS AND SHALL OBTAIN A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2,500 PSI.
- 4. REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM REQUIREMENTS, GRADE 60. SHOP FABRICATE REINFORCING BARS WHICH ARE SHOWN TO BE HOOKED OR BENT. PROVIDE A MINIMUM LAP OF 48 TIMES THE BAR DIAMETERS AT ALL SPLICES, UNLESS NOTED OTHERWISE.
- THE USE OF MASONRY-CEMENT MORTAR IS STRICTLY PROHIBITED. MORTAR SHALL CONFORM TO ASTM REQUIREMENTS: ALL MORTAR SHALL MEET THE "PROPORTION SPECIFICATION" OF ASTM REQUIREMENTS AND BE MADE WITH PORTLAND CEMENT LIME (NON AIR-ENTRAINED).
- 6. UNLESS NOTED OTHERWISE, ALL WALLS SHALL BE LAID IN RUNNING BOND. BOND CORNERS AND INTERSECTIONS OF LOAD BEARING WALLS.
- 7. VERTICAL REINFORCEMENT OF AT LEAST (I) #4 BAR SHALL BE PROVIDED AT CORNERS, WITHIN I 6" OF EACH SIDE OPENINGS, WITHIN 8" OF THE ENDS OF WALLS, AND AT A MAXIMUM SPACING OF 10' ON CENTER. PROVIDE BARS AT ALL WALL CORNERS, INTERSECTIONS, AND OPENING EDGES.
- 8. PROVIDE REBAR DOWELS FROM FOUNDATIONS TO MATCH VERTICAL REINFORCING SIZE AND SPACING. DOWELS SHALL HAVE STANDARD 90 DEGREE HOOKS AND LAP WITH THE FIRST LIFT OF REINFORCING. PROVIDE HORIZONTAL BOND WITH CONTINUOUS REINFORCING AS INDICATED. BOND BEAM
- REINFORCEMENT SHALL BE AT LEAST (I) #4 BAR SPACED NO MORE THAN IO'O.C. DISCONTINUE ALL HORIZONTAL REINFORCING AT CONTROL JOINTS EXCEPT FOR THE BOND BEAMS AT BEARING ELEVATIONS. INTERMEDIATE BOND BEAMS SHALL BE PROVIDED AS REQUIRED. 10. PROVIDE STANDARD 9 GAUGE HORIZONTAL JOINT REINFORCING AT 16 INCHES ON CENTER IN ALL WALLS.
- PROVIDE TRUSS TYPE JOINT REINFORCING FOR ALL CONCRETE MASONRY. COORDINATE BRICK TIE-BACK REQUIREMENTS WITH THE ARCHITECTURAL DRAWINGS. UNLESS NOTED OTHERWISE, STOP ALL HORIZONTAL JOINT REINFORCING AT CONTROL JOINTS.
- II. PROVIDE BOND BEAM LINTELS AND BRICK SHELF ANGLES ABOVE ALL WALL OPENINGS PER TYPICAL DETAILS. SEE ARCHITECTURAL DRAWINGS FOR ALL LOCATIONS OF WINDOW AND DOOR OPENINGS.
- 12. PROVIDE STEEL JOIST AND BEAM BEARING PLATES AND OTHER ACCESSORIES AS INDICATED. PROVIDE THREE COURSES OF SOLIDLY GROUTED CMU BELOW ALL BEAM BEARINGS OVER THE WIDTH OF 2'-8", CENTERED ON THE WALL, UNLESS NOTED OTHERWISE.
- 13. PROVIDE CMU CONTROL JOINTS AS INDICATED, WITH ADDITIONAL JOINTS SO THAT THE SPACING BETWEEN JOINTS DOES NOT EXCEED A SPACING OF 3 x THE WALL HEIGHT (35 FEET MAXIMUM). WHERE BEAMS OR LINTELS BEAR AT CMU CONTROL JOIST OFFSET AND LAP THE VERTICAL REINFORCING AS
- 14. THE MASONRY CONTRACTOR SHALL PROVIDE ALL REQUIRED TEMPORARY WALL BRACING DURING CONSTRUCTION (SEE GENERAL STRUCTURAL NOTES).

I 6. ALL STEEL EXPOSED TO WATER, MOISTURE, AND / OR CORROSIVES SHALL BE COVERED WITH

THAN $\frac{5}{8}$ " MORTAR OR GROUT COVER TO OUTSIDE FACE.

- 15. PROVIDE CONSTRUCTION JOINTS IN ALL MASONRY WORK AS REQUIRED BY THE ACI CODE OR AS SHOWN ON THE INDIVIDUAL DETAILS.
- APPROPRIATE PROTECTIVE APPROVED COATING MATERIALS. 17. MASONRY VENEER SHALL BE ANCHORED TO THE SUPPORTING WALL STUDS w/ CORROSION-RESISTANT 22 U.S. GAGE METAL TIES W/ 84 COMMON NAIL AT 16" O.C. HORZ. \$ 24" O.C VERT. METAL TIES SHALL BE EMBEDDED IN MORTAR OR GROUT AND EXTENDING INTO THE VENEER A MIN. OF 15", W/ NOT LESS

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS IF ANY CONNECTIONS DESCRIBED IN THESE PLANS & DETAILS DIFFER FROM WHAT IS SHOWN ON

TABLE BELOW, THE PLANS & DETAILS SHALL CONTROL

DESCRIPTION OF BUILDING ELEMENTS	NUMBER \$ TYPE OF FASTENERS a,b,c	SPACING OF FASTENERS
I. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	3 - 8d (2½" x 0.113")	
2. CEILING JOISTS TO PLATE, TOE NAIL	3 - 8d (2½" x 0.113")	
3. CEILING JOISTS NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS, FACE NAIL	3 - 10d	
4. COLLAR TIE TO RAFTER, FACE NAIL OR 11/4"x20 GAGE RIDGE STRAP	3 - 10d (3" x 0.128")	
5. RAFTER OR ROOF TRUSS TO PLATE, TOE NAIL	3-16d BOX NAILS (3½" x 0.135") OR 3-10d COMMON NAILS (3" x 0.148)	2 TOE NAILS ON ONE SIDE AND I TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS
6. ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS: TOE NAIL FACE NAIL	4-16d (3½" x 0.135") 3-16d (3½" x 0.135")	
7. BUILT-UP STUDS-FACE NAIL	10d (3" x 0.128")	24" O.C.
8. ABUTTING STUDS AT INTERSECTING WALL CORNERS, FACE NAIL	16d (3½" x 0.135")	12" O.C.
9. BUILT-UP HEADER, TWO PIECES WITH ½" SPACER	16d (3½" x 0.135")	16" O.C. ALONG EACH EDGE
IO. CONTINUED HEADER, TWO PIECES	16d (3½" x 0.135")	16" O.C. ALONG EACH EDGE
II. CONTINUOUS HEADER TO STUD WALL	4 - 8d (2½" x 0.113")	
12. RIM JOIST TO TOP PLATE, TOE NAIL	10d (3" x 0.128")	24" O.C.
13. DOUBLE TOP PLATES, FACE NAIL	10d (3" x 0.128")	24" O.C.
14. DOUBLE TOP PLATES, MINIMUM 24-INCH OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREAS	8-16d (3½" x 0.135")	
15. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d (3½" x 0.135")	16" O.C.
I G. SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	3 - 16d (3½" x 0.135")	16" O.C.
17. STUD TO SOLE PLATE, TOE NAIL	3 - 8d (2½" x 0.113") OR 2-16d (3½" x 0.135")	
18. TOP OR SOLE PLATE TO STUD, END NAIL	2 - 16d (3½" x 0.135")	
19. TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	2 - 10d (3" x 0.128")	
20. I" BRACE TO EACH STUD AND PLATE, FACE NAIL	2 - 8d (2½" x 0.113") 2 STAPLES, 1¾"	
21. I" x 6" SHEATHING TO EACH BEARING, FACE NAIL	2 - 8d (2½" x 0.113") 2 STAPLES, 1¾"	
22. I" x 8" SHEATHING TO EACH BEARING, FACE NAIL	2 - 8d (2½" x 0.113") 3 STAPLES, 1¾"	
23. WIDER THAN I " x 8" SHEATHING TO EACH BEARING, FACE NAIL	3 - 8d (2½" x 0.113") 4 STAPLES, 1¾"	
24. JOIST TO SILL OR GIRDER, TOE NAIL	3-8d (2½" x 0.113")	
25. RIM JOIST TO TOP PLATE, TOE NAIL (ROOF APPLICATIONS ALSO)	8d (2½" x 0.113")	6" O.C.
26. RIM JOIST OR BLOCKING TO SILL PLATE, TOE NAIL	8d (2½" x 0.113")	6" O.C.
27. I" x 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2 - 8d (2½" x 0.113") 2 STAPLES	
28. 2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2 - 16d (3½" x 0.135")	
29. 2" PLANKS (PLANK \$ BEAM - FLOOR \$ ROOF)	2 - 16d (3½" x 0.135")	AT EACH BEARING
30. BUILT-UP GIRDERS & BEAMS, 2-INCH LUMBER LAYERS	10d (3" x 0.128")	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP & BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE.
31. LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3 - 16d (3½" x 0.135")	AT EACH JOIST OR RAFTER

31. LEDGER STRIP SUPPORTING JOISTS O	R RAFTERS 3 - 16d (3½" x 0.135"	") AT	EACH JOIST OR RAFTE
		SPACING (OF FASTENERS
DESCRIPTION OF BUILDING ELEMENTS	DESCRIPTION OF FASTENER b,c,e	EDGES (INCHES) i	NTERMEDIATE SUPPO (INCHÉS)
WOOD STRUCTURAL PANELS, SUBFLO	OOR, ROOF AND WALL SHEATHING TO FRAMING, AND	PARTICLEBOARD WALL SHEA	THING TO FRAMING
32. ³ / ₈ " - ½"	6d COMMON (2" x 0.113") NAIL (SUBFLOOR, WALL, 8d COMMON ($2\frac{1}{2}$ " x 0.131") NAIL (ROOF) ^f	6	129
33. %32" - "	8d COMMON NAIL (2½" x 0.131")	6	129
34. I/8" - I/4"	10d COMMON (3" x 0.148") NAIL OR 8d (2½" x 0.131") DERFORMED NAIL	6	12
	OTHER WALL SHEATHING ^h		
35. ½" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	$1\frac{1}{2}$ " GALVANIZED ROOFING NAIL, $\frac{7}{6}$ " CROWN OR 1" CROWN STAPLE 16 GA, $1\frac{1}{4}$ " LONG	3	6
36. ²⁵ ⁄ ₃₂ " STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1¾" GALVANIZED ROOFING NAIL, ¼6" CROWN OR 1" CROWN STAPLE 16 GA, 1½" LONG	3	6
37. ½" GYPSUM SHEATHING ^d	I½" GALVANIZED ROOFING NAIL, STAPLE GALVANIZE I½" LONG; I¼" SCREWS, TYPE W OR S	D, 7	7
38. 5/8" GYPSUM SHEATHING d	34" GALVANIZED ROOFING NAIL, STAPLE GALVANIZ 1%" LONG; 1%" SCREWS, TYPE W OR S	ED, 7	7
WOOD STR	RUCTURAL PANELS, COMBINATION SUBFLOOR UNDERL	AYMENT TO FRAMING	
39. ¾" AND LESS	GA DEFORMED (2" x 0. 20") NAIL OR 8A COMMON (2½" x 0. 3 ") NAIL	6	12
40. 7/8" - "	8d COMMON ($2\frac{1}{2}$ " x 0.131") NAIL OR 8d DEFORMED ($2\frac{1}{2}$ " x 0.120") NAIL	6	12
41. \mathcal{Y}_8" - \mathcal{Y}_4"	10d COMMON (3" x 0.148") NAIL OR 8d DEFORMED (2½" x 0.120") NAIL	6	12

8d DEFORMED (2½" x 0.120") NAIL FOR SI: I INCH = 25.4 mm, I FOOT = 304.8 mm, I MILE PER HOUR = 0.447 m/s; I KSI = 6.895 MPa ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS SHOWN: 80 KSI FOR SHANK DIAMETER OF 0. I 92 INCH (20d COMMON NAIL), 90 KSI FOR SHANK DIAMETERS LARGER THAN 0.142 INCH BUT NOT LARGER THAN 0.177 INCH, AND 100 KSI FOR

- SHANK DIAMETERS OF 0.142 INCH OR LESS. STAPLES ARE 16 GAGE WIRE AND HAVE A MINIMUM $\frac{7}{16}$ -INCH ON DIAMETER CROWN WIDTH.
- NAILS SHALL BE SPACED AT NOT MORE THAN 6 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER. FOUR-FOOT-BY-8-FOOT OR 4-FOOT-BY-9-FOOT PANELS SHALL BE APPLIED VERTICALLY.
- SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(2). FOR REGIONS HAVING BASIC WIND SPEED OF 110 MPH OR GREATER, 8d DEFORMED (21/2" x 0.120") NAILS SHALL BE USED FOR ATTACHING

THE OPPOSITE SIDE OF THE RAFTER SHALL NOT BE REQUIRED.

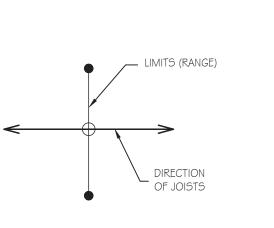
- PLYWOOD AND WOOD STRUCTURAL PANEL ROOF SHEATHING TO FRAMING WITH MINIMUM 48-INCH DISTANCE FROM GABLE END WALLS, IF MEAN ROOF HEIGHT IS MORE THAN 25 FEET, UP TO 35 FEET MAXIMUM FOR REGIONS HAVING BASIC WIND SPEED OF 100 MPH OR LESS, NAILS FOR ATTACHING WOOD STRUCTURAL PANEL ROOF SHEATHING TO GABLE END WALL FRAMING SHALL BE SPACED 6 INCHES ON CENTER. WHEN BASIC WIND SPEED IS GREATER THAN 100 MPH, NAILS FOR
- ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6 INCHES ON CENTER FOR MINIMUM 48-INCH DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS; AND 4 INCHES ON CENTER TO GABLE END WALL FRAMING. GYPSUM SHEATHING SHALL CONFORM TO ASTM C 1396 AND SHALL BE IN ACCORDANCE WITH GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C 208.
- THE FRAMING MEMBERS NEED NOT BE PROVIDED EXCEPT AS REQUIRED BY OTHER PROVISIONS OF THIS CODE. FLOOR PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING. WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE, PROVIDE TWO TOE NAILS ON ONE SIDE OF THE RAFTER AND TOE NAILS FROM THE CEILING JOIST TO TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE. THE TOE NAIL ON

SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED

SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO

BLOCKING AND AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES





ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER ^a

SIZE OF STEEL ANGLE ^a (INCHES)	NO STORY ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE
3x3 . ⁄√₄	6'-0"	4'-6"	3'-0"
4x3x √ ₄	8'-0"	6'-0"	4'-6"
5x3½x5√6	10'-0"	8'-0"	6'-0"
6x31/2x5/16	14'-0"	9'-6"	7'-0"
2-6x31/2x51/6	20'-0"	12'-0"	9'-6"

LONG LEG OF THE ANGLE SHALL BE PLACED IN A VERTICAL

KOBLASZ & KENNISON ENGINEERING, PC

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ACCORDANCE WITH ALL APPLICABLE BUILDING CODES. DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE BEFORE BEGINNING CONSTRUCTION.

SUBMITTALS: DATE DESCRIPTION STRUCTURAL DESIGN ISSUED

STRUCTURAL

JOB NUMBER: 20322 ENGINEER: CHECKED BY: GHK STAMP:



SHEET NUMBER:

SHEET TITLE:

□ RELEASED FOR CONSTRUCTION



V-20-108

4" CONCRETE SLAB ON GRADE

w/ 6x6-W1.4 x W1.4 WWF

w/ CONTROL JOINTS @

10'-0" O.C. EACH WAY

ON 6 MIL VAPOR BARRIER

ON 4" GRAVEL BASE

ON UNDISTURBED OR

COMPACTED SOIL.

SCALE: 1/4" = 1'-0"

- SIMPSON STHD 14

─ (1)2x4 JACK STUD (1)2x4 KING STUD

- (3)2x4 JACK STUDS

─ SIMPSON STHD | 4 HOLD DOWN

/ I 2" THICK TURN DOWN

SLAB w/ (2)#4 BARS CONT. \$ #4@24" O.C.

SIMPSON STHD 14

(3)2x4 JACK STUDS

(1)2x4 JACK STUD

(1)2x4 KING STUD

SIMPSON STHD 14

HOLD DOWN

HOLD DOWN

 WALL TO BE PORTAL FRAME WALL WITH HOLD DOWNS TO BE CONSTRUCTED IN ACCORDANCE WITH 2018 IRC FIGURE R602.10.6.2.

HOLD DOWN

PACKED STUD SCH (APPLIES IF COL. IS NOT SPE	
(2)2x6	(2)PLY BEAM
(3)2x6	(3)PLY BEAM
(4)2x6	(4)PLY BEAM

(1)2x4 JACK STUD

(1)2x4 KING STUD

(3)2x4 JACK STUDS

PACKED STUD SCI (APPLIES IF COL. IS NOT SPE	
(2)2x6	(2)PLY BEAM
(3)2x6	(3)PLY BEAM
(4)2x6	(4)PLY BEAM

2ND LEVEL FLOOR DESIGN LOADS	
40 PSF	LIVE LOAD
IO PSF	DEAD LOAD
CEILING DESIGN L	OADS
O PSF	LIVE LOAD
5 PSF	DEAD LOAD

ROOF DESIGN LOADS

LIVE LOAD

DEAD LOAD

20 PSF

10 PSF

	FOOTINGS
	FOUNDATION WALLS
	COLUMNS
	COLUMNS ABOVE
	STUD WALLS ABOVE
	STUD WALLS BELOW
	HEADERS OR BEAMS
<	JOISTS
	BEAMS BELOW
	ROOF FRAMING
100	ROOF BRACING
	I ST LEVEL WALLS (OUTSIDE FOOTPRINT OF 2ND LEVEL)

FOUNDATION NOTES:

- I. FOUNDATION DESIGNED BASED ON ASSUMED 2000 PSF ALLOWABLE SOIL BEARING CAPACITY. 2. SOLE / SILL PLATES TO BE ANCHORED TO THE FOUNDATION WITH ½" Ø ANCHOR BOLTS @ A
- MAXIMUM OF 6'-0" O.C. MINIMUM (2) BOLTS PER PLATE SECTION AND (1) BOLT WITHIN 12" FROM END OF PLATE SECTION. MINIMUM 7" EMBEDMENT INTO MASONRY OR CONCRETE.
- 3. SEE SHEET S-O FOR ADDITIONAL NOTES.

LUMBER & TIMBER NOTES:

- 4. ALL 2x4, 2x6, 2x8 LUMBER SHALL BE SPF #2. ALL 2x10, 2x12 LUMBER SHALL BE SYP #2, UNLESS
- NOTED OTHERWISE (U.N.O.). 5. ALL Gx, 8x, 10x, 12x TIMBER SHALL BE SYP #2 OR DF #2, U.N.O.
- 6. ALL LVL (LAMINATED VENEER LUMBER) SHALL BE $1\frac{3}{4}$ PLY THICKNESS, E $\geq 2.0 \times 10^6$ PSI, F_b \geq 2,600 PSI, F_v ≥ 285 PSI.
- 7. ENTRY LEVEL WALL FRAMING NOTES:
- 8. STUD WALLS TO BE 2x4 @ 16" O.C. w/ 9'-0" MAXIMUM STUD HEIGHT, U.N.O. 9. WINDOW ¢ DOOR HEADERS IN LOAD BEARING WALLS W/ SPANS ≤ 2'-7" SHALL HAVE (1)2x6 JACK STUD; SPANS > 2'-7" SHALL HAVE (2)2x6 JACK STUDS, U.N.O.
- 10. INTERIOR LOAD BEARING WALLS TO BE BLOCKED AT MID-POINT. II. EXTERIOR WALLS TO BE FULLY SHEATHED W/ $rac{15}{32}$ " APA RATED SHEATHING ATTACHED W/ IOA NAILS @ 6" O.C. AT PANEL EDGES \$ 12" O.C. AT INTERMEDIATE MEMBERS. PROVIDE BLOCKING BETWEEN
- STUDS AT PANEL EDGES. 12. ALL STUDS TO BE CONTINUOUS BETWEEN DIAPHRAGMS.
- 13. ALL COLUMNS TO BE BRACED AT TOP \$ BOTTOM. ALL CONTINUOUS COLUMNS TO BE BRACED AT EACH FLOOR LEVEL.

2ND FLOOR FRAMING NOTES

- 14. ALL FLOOR JOISTS TO BE 11 $\frac{7}{8}$ " TJI 560 @ 16" O.C., U.N.O.
- 15. LVL & DIMENSIONAL LUMBER BEAMS TO BE CONNECTED AS FOLLOWS: 15.1. (2)PLY: (2)ROWS OF 10d NAILS @ 12" O.C. IN EACH ROW, DRIVEN FROM ONE SIDE.
- 15.2. (3)PLY: (2)ROWS OF SIMPSON 5" SDW22 SCREWS @ 16" O.C. IN EACH ROW, DRIVEN FROM
- 15.3. (4)PLY: (2)ROWS OF SIMPSON $6\frac{3}{4}$ " SDW22 SCREWS @ 16" O.C. IN EACH ROW, DRIVEN FROM ONE SIDE.
- 16. FLOOR DECKING TO BE $\frac{23}{32}$ APA RATED STURD-1-FLOOR 24 OC ADHERED PER JOIST MANUFACTURER TO ENSURE COMPOSITE ACTION \$ ATTACHED w/ 10d NAILS @ 6" O.C. AT PANEL
- EDGES \$ | 2" O.C. AT INTERMEDIATE MEMBERS. 17. WHERE JOISTS ARE PARALLEL TO EXTERIOR WALLS, PROVIDE FULL DEPTH BLOCKING @ 24" O.C. IN
- IST BAY TO BRACE WALL. THE ENDS OF ALL BEAMS & LOISTS ARE TO BE RESTRAINED TO PREVENT ROTATION ALL FLUSH BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE SIDES. ALL DROPPED BEAMS ARE TO BE
- CONTINUOUSLY BRACED ALONG THE TOP FACE. 19. LAP JOISTS BY THE THICKNESS OF BEARING WALL (MIN. 3") \$ DO NOT EXTEND BEYOND THE WALL,
- 20. IN FLOOR CAVITIES PROVIDE BLOCKING UNDER ALL CONCENTRATED LOADS & AT ALL BEAMS &
- HEADERS. 21. WHERE REQUIRED PROVIDE ADEQUATE & PROPER FLASHING AGAINST WATER INTRUSION.

- 22. ALL I-JOISTS TO HAVE SIMPSON IUS HANGERS & SHALL MATCH JOIST DEPTH & FLANGE WIDTH. 23. ALL DIMENSIONAL LUMBER HANGERS SHALL BE SIMPSON LUS FOR(1)PLY, LUS FOR (2)PLY, HU
- FOR (3)PLY & SHALL MATCH LUMBER DEPTH.
- 24. ALL LVL HANGERS SHALL BE SIMPSON HUS FOR (1)PLY, HHUS FOR (2)PLY, HHUS FOR (3)PLY, HGUS FOR (4)PLY & SHALL MATCH LVL DEPTH.
- 25. ALL HANGERS SUPPORTING P.T. MATERIAL OR EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.

2ND LEVEL WALL (BELOW CEILING) FRAMING NOTES:

- 26. STUD WALLS TO BE 2x4 OR 2x6 @ 16" O.C. w/ 10'-0" MAXIMUM STUD HEIGHT, U.N.O. 27. WINDOW \$ DOOR HEADERS IN LOAD BEARING WALLS W/ SPANS ≤ 4'-8" SHALL HAVE (1)2x JACK
- STUD; SPANS > 4'-8" SHALL HAVE (2)2x JACK STUDS, U.N.O. 28. INTERIOR LOAD BEARING WALLS TO BE BLOCKED AT MID-POINT.
- 29. EXTERIOR WALLS TO BE FULLY SHEATHED W/ $\frac{1}{32}$ APA RATED SHEATHING ATTACHED W/ I Od NAILS @ 6" O.C. AT PANEL EDGES \$ 12" O.C. AT INTERMEDIATE MEMBERS. PROVIDE BLOCKING BETWEEN STUDS AT PANEL EDGES.
- 30. ALL STUDS TO BE CONTINUOUS BETWEEN DIAPHRAGMS. STUDS IN GABLE-END WALLS NOT BRACED BY A CEILING SYSTEM MUST BE CONTINUOUS FROM FLOOR TO ROOF.
- 31. ALL COLUMNS TO BE BRACED AT TOP \$ BOTTOM. ALL CONTINUOUS COLUMNS TO BE BRACED AT EACH FLOOR LEVEL.

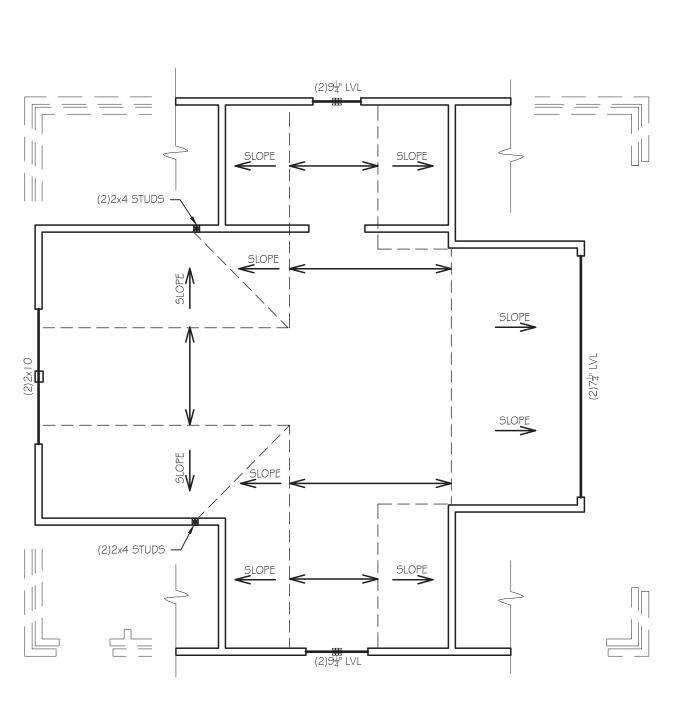
CEILING FRAMING NOTES:

- 32. ALL CEILING JOISTS TO BE 2x6 @ 16" O.C., U.N.O.
- 33. CONNECT CEILING JOISTS TO RAFTERS W/ A MIN. OF (5) I Od NAILS, U.N.O. 34. LVL & DIMENSIONAL LUMBER BEAMS TO BE CONNECTED AS FOLLOWS:
- 34.1. (2)PLY: (2)ROWS OF 10d NAILS @ 12" O.C. IN EACH ROW, DRIVEN FROM ONE SIDE. 34.2. (3)PLY: (2)ROWS OF SIMPSON 5" SDW22 SCREWS @ 16" O.C. IN EACH ROW, DRIVEN FROM
- ONE SIDE. 34.3. (4)PLY: (2)ROWS OF SIMPSON $6\frac{3}{4}$ " SDW22 SCREWS @ 16" O.C. IN EACH ROW, DRIVEN FROM
- ONE SIDE. 35. WHERE JOISTS ARE PARALLEL TO EXTERIOR WALLS, PROVIDE FULL DEPTH BLOCKING @ 24" O.C. IN
- IST BAY TO BRACE WALL. 36. THE ENDS OF ALL BEAMS \$ JOISTS ARE TO BE RESTRAINED TO PREVENT ROTATION. ALL FLUSH
- BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE SIDES. ALL DROPPED BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE TOP FACE.
- 37. LAP JOISTS BY THE THICKNESS OF BEARING WALL (MIN. 3") \$ DO NOT EXTEND BEYOND THE WALL,
- 38. IN CEILING CAVITIES PROVIDE BLOCKING UNDER ALL CONCENTRATED LOADS & AT ALL BEAMS &

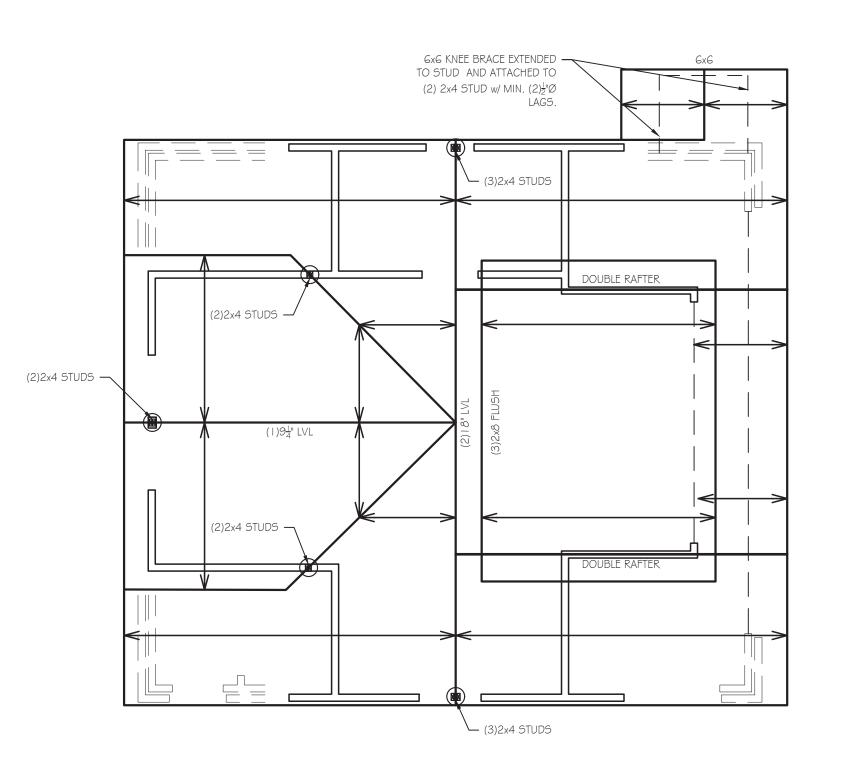
39. WHERE REQUIRED PROVIDE ADEQUATE \$ PROPER FLASHING AGAINST WATER INTRUSION.

- 40. ALL RAFTERS TO BE 2x8 @ 16" O.C., U.N.O. 41. ALL HIP, VALLEY & RIDGE BOARDS TO BE (1)2x12, U.N.O.
- 42. ROOF DECKING TO BE 15" APA RATED 12 SHEATHING ATTACHED W/ 1 OA NAILS @ 6" O.C. AT SUPPORTED EDGES & 12" O.C. AT INTERMEDIATE MEMBERS.
- 43. ALL RAFTERS THAT ARE LABELED "OVER-FRAMING" SHALL BE EITHER BRACED AT THE TOP OR
- 44. CONNECT CEILING JOISTS TO RAFTERS W/ A MIN. OF (5)10d NAILS, U.N.O. 45. ONLY BRACE PURLINS & RAFTERS ON CEILING BEAMS OR LOAD BEARING WALLS.
- 46. LVL & DIMENSIONAL LUMBER BEAMS TO BE CONNECTED AS FOLLOWS: 46.1. (2)PLY: (2)ROWS OF 10d NAILS @ 12" O.C. IN EACH ROW, DRIVEN FROM ONE SIDE.
- 46.2. (3)PLY: (2)ROWS OF SIMPSON 5" SDW22 SCREWS @ 16" O.C. IN EACH ROW, DRIVEN FROM
- 46.3. (4)PLY: (2)ROWS OF SIMPSON $6\frac{3}{4}$ " SDW22 SCREWS @ 16" O.C. IN EACH ROW, DRIVEN FROM ONE SIDE.
- 47. THE ENDS OF ALL BEAMS \$ RAFTERS ARE TO BE RESTRAINED TO PREVENT ROTATION. ALL FLUSH BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE SIDES. ALL DROPPED BEAMS ARE TO BE CONTINUOUSLY BRACED ALONG THE TOP FACE.
- 48. WHERE REQUIRED PROVIDE ADEQUATE \$ PROPER FLASHING AGAINST WATER INTRUSION.

(2) | | 1⁷/₈" LVL FLUSH (3)2x4 JACK STUDS (1)2x4 JACK STUD (1)2x4 KING STUD - SEE SHEET S-0 FOR LINTEL SCHEDULE, TYP 2ND LEVEL FRAMING PLAN SCALE: 1/4" = 1'-0"







SCALE: 1/4" = 1'-0"

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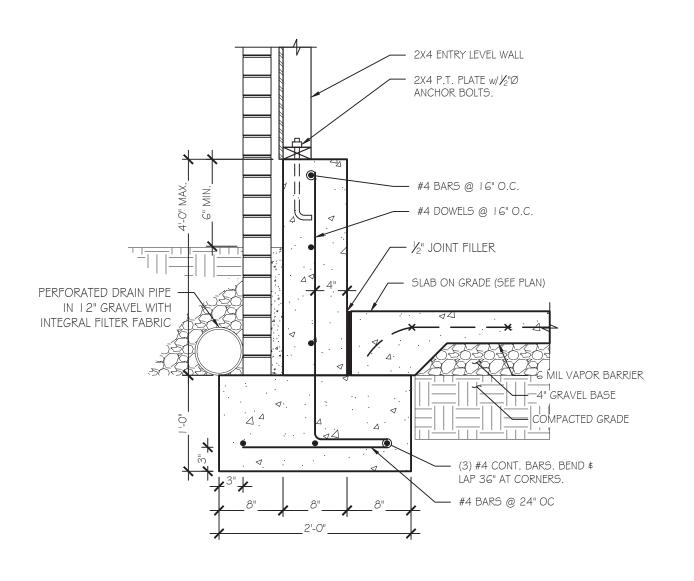
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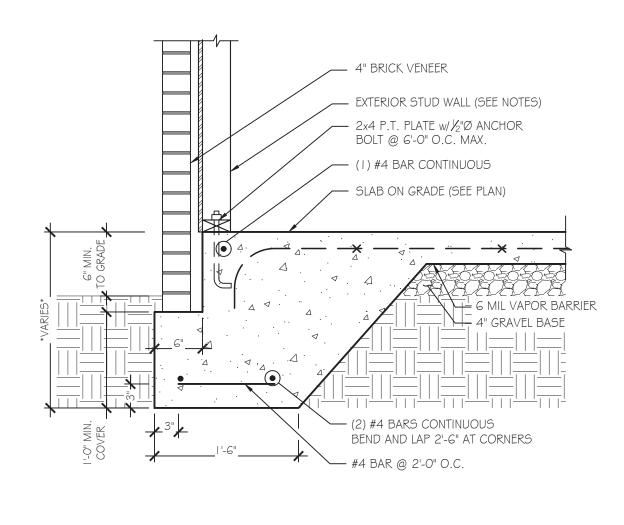






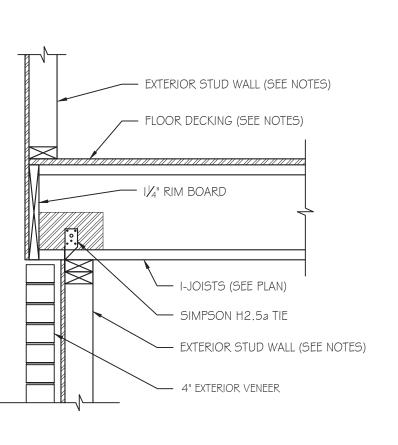
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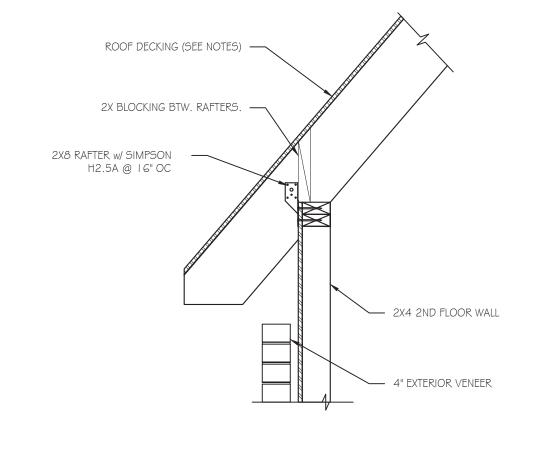
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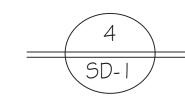
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SHEET TITLE:

STRUCTURAL **DETAILS**

JOB NUMBER: 20322 ENGINEER: RSL CHECKED BY: GHK



SHEET NUMBER:

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V-20-108