



OFFICE OF ZONING AND DEVELOPMENT  
55 Trinity Avenue S.W., Suite 3350  
Atlanta, Georgia 30303  
(404) 330-6145

APPLICATION #: **V-20-122**

DATE ACCEPTED: **09/21/2020**

**NOTICE TO APPLICANT**

Address of Property:

**1435 North Highland AVE NE**

City Council District: 6      Neighborhood Planning Unit (NPU): F

Board of Zoning Adjustment (BZA) Hearing Date:

**Thursday, November 05, 2020 at 12:00 p.m.**

Council Chambers, 2nd Floor, City Hall  
55 Trinity Avenue, S.W.

The contact person for NPU F is:

**Debbi Skopczynski**  
**404-874-7483**  
**zoning@npufatlanta.org**

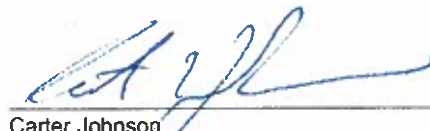
Contact info for adjacent NPUs is provided below if necessary:

**Additional Contacts:**

Please contact the person(s) listed above within five days to find out which meetings you will be required to attend before the next NPU meeting. If you are unable to reach the contact person, please call the city's NPU Coordinator at 404-330-6145.

Signed,

  
\_\_\_\_\_  
RJ, for Director, Office of Zoning and  
Development

  
\_\_\_\_\_  
Carter Johnson

**RECEIVED**

DATE: 9/9/2020



City of Atlanta  
Office of Zoning and Development  
55 Trinity Avenue, Suite 3300  
Atlanta, Georgia 30303  
Phone: 404-330-6145

**REFERRAL CERTIFICATE**

COUNCIL DISTRICT 6 APPLICATION NUMBER V-20-122

NPU F DATE FILED 09/01/2020

Carter Johnson  
Name of Applicant

**BUILDING PERMIT AUTHORIZING:**  
*Construction of a rear two-story deck addition.*

at 1435 North Highland Avenue NE 17-2  
Street Address Quadrant District & Land Lot

to be used for Residential purposes

The property is zoned R-4 (Single-Family Residential)

The building permit was denied for the following reasons:

Applicant seeks a special exception from the zoning regulations to: allow for an expansion  
(construction of a rear two-story deck addition) to an existing legal nonconforming duplex.

**Applicant seeks no other variances at this time.**

**Complete Review Not Conducted**

**1982 ZONING ORDINANCE, AS AMENDED**

Chapter 24 Section 16-24.005 Paragraph (7)(a)

Chapter \_\_\_\_\_ Section \_\_\_\_\_ Paragraph \_\_\_\_\_

Adam W.  
Chappell

Digitally signed by Adam W. Chappell  
Date: 2020.09.01 16:15:14 -04'00'

Plan Reviewer

Date

Applicant

Date

[Signature] 9/1/20



# APPLICATION FOR BOARD OF ZONING ADJUSTMENT

Please mark "X" next to the type of application(s) you are submitting:

Variance	<input type="checkbox"/>
Special Exception	<input checked="" type="checkbox"/>
Variance & Special Exception	<input type="checkbox"/>

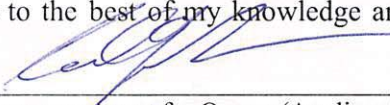
Date Filed 8/27/20 Application Number V-20-122  
 Name of Applicant Carter Johnson Daytime Phone 404-697-6056  
 Company Name (if applicable) \_\_\_\_\_ email \_\_\_\_\_  
 Address 1435 N Highland Ave Atlanta GA 30306  
street city state zip code

Name of Property Owner Same Phone \_\_\_\_\_  
 Address \_\_\_\_\_  
street city state zip code

**Description of Property**  
 Address of Property 1435 N Highland Ave Atlanta GA 30306  
street city state zip code  
 Area: 17304 Land Lot: \_\_\_\_\_ District: 5, Fulton County, GA.  
 Property is zoned: R4, Council District: 6, Neighborhood Planning Unit (NPU): \_\_\_\_\_  
Morningside

TO THE BOARD OF ZONING ADJUSTMENT: Applicant, having received a preliminary plan review from the Office of Zoning and Development prior to seeking a building permit or certificate of occupancy, hereby requests that the Board of Zoning Adjustment grant a Variance or Special Exception.

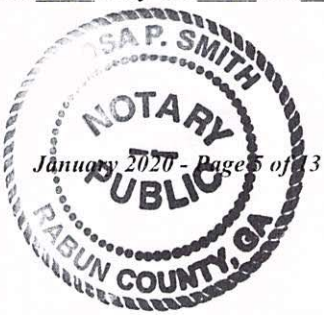
I hereby authorize the staff of the Office of Zoning and Development to inspect the premises of the above-described property. I understand that it is my responsibility to post a public notice sign on the property according to the instructions given to me by the Office of Zoning and Development upon filing this application. I swear that all statements herein and attached hereto are true and correct to the best of my knowledge and belief.

  
 Owner or Agent for Owner (Applicant)  
Carter U. Johnson  
 Print Name of Owner

Sworn To And Subscribed Before Me This 3 Day Of 9, 2020.

  
 NOTARY PUBLIC

My Commission Expires July 13, 2024





**RECEIVED**

DATE: 9/9/2020

**SUMMARY & JUSTIFICATION FOR VARIANCES**

Complete responses must be provided for ALL questions. Incomplete applications will not be processed below may be utilized or responses may be submitted as a separate attachment. Specific criteria for Board approval of variances may be found on page 7. **The justification must address the criteria.** Please submit a typewritten or legible justification.

Is the property described in this application subject to a pending application or ordinance for a Rezoning or Special Use Permit?  YES  NO. (If yes, the variance/special exception request will be rescheduled to a hearing following the final approval by City Council & the Mayor). Please provide the relevant zoning application number associated with the subject property: \_\_\_\_\_.

**Summary of proposed construction changes to buildings or site (shall not replace submittal of written criteria).** (Examples: "Convert a 100' x 200' retail space into a restaurant." "Install a 6-foot high opaque wooden wall ('privacy fence' with 6-foot high opaque wall gates.").

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Proposed Lot Coverage (After Construction):** Calculate total amount of lot coverage on entire property, after completion of proposed construction, including existing and proposed buildings and other structures; sidewalks, driveways, parking pads, patios, gravel, etc.; everything except natural planted or undisturbed areas.

3579 covered square feet / 7525 total lot square feet = 48 % proposed lot coverage

50 % maximum allowed lot coverage

**Variance Criteria (see page 6 for detailed criteria):**

- 1) What are the extraordinary and exceptional conditions pertaining to the particular piece of property in question (size, shape or topography)? \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
- 2) How would the application of the Zoning Ordinance of the City of Atlanta to this particular piece of property create an unnecessary hardship? \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
- 3) What conditions are peculiar to this particular piece of property? \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
- 4) Submit facts to show that relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta. \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**RECEIVED**

DATE: 9/9/2020

## SUMMARY & JUSTIFICATION FOR SPECIAL EXCEPTIONS

Complete responses must be provided. Incomplete applications will not be accepted. The space below may only be utilized for the summary of proposal or responses may be submitted as a separate attachment. Specific criteria for Board approval of special exceptions may be found on page 9. **The justification must address the criteria. Please submit a separate justification for responses to the applicable special exception criteria.**

Is the property described in this application subject to a pending application or ordinance for a Rezoning or Special Use Permit?  YES  NO. (If yes, the variance/special exception request will be rescheduled to a hearing following the final approval by City Council & the Mayor.) Please provide the relevant zoning application number associated with the subject property: \_\_\_\_\_.

**Summary of proposed special exception request (shall not replace submittal of written criteria).** (Examples: "Installation of a swimming pool adjacent to the public right of way ("active recreation"), "Install a 6-foot high opaque wooden wall ('privacy fence' with 6-foot high opaque wall gates.").

- Parking & Loading:** List the hours and manner of operation for the proposed use, the maximum number of employees who will park on the site at any given time, and list the maximum estimated number of customers (visitors or similar persons) who will require automobile parking in connection with the use on the site at any given time. **If you are proposing off-site parking, see the attached Standards for off-site Parking Agreements (page 11).**

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- Walls and Fences:** Any request for walls or fences should include a site plan and elevations showing the full extent of the wall or fence and a drawing showing a typical portion of the wall or fence including gates of ornamental fences. \_\_\_\_\_

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- Active Recreation:** \_\_\_\_\_

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- Non-Conforming Uses & Structures (i.e. duplex):** \_\_\_\_\_

- All other Special Exception Requests:** We are requesting the exception to add a deck on the rear of the second floor our duplex. We live on the second floor and to get the back yard we have to traverse narrow and out of date steps. There is currently a small deck at the top but only room for one chair. These steps are fairly dangerous and I have fallen down the last couples of steps a few times. Fortunately I have not hurt myself. My wife and I are 64 & 66 and we love setting outside. By adding the deck on this level we wouldn't have to go up and down the stairs every time we want to go outside. This would improve our safety greatly as well as give us great joy. Our neighbors are supporting our addition and I have attached their emails.





V-20-122

**AUTHORIZATION BY PROPERTY OWNER**

**quired only if the applicant is not the owner of the property subject to the proposed application.)**

*(Please print clearly. Must be the original document. A copy will not be accepted.)*

I, Carter Johnson (OWNER'S NAME) SWEAR AND AFFIRM THAT I AM THE OWNER OF THE PROPERTY AT 1435 North Highland Ave (PROPERTY ADDRESS). AS SHOWN IN THE RECORDS OF Fulton County COUNTY, GEORGIA, WHICH IS THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE PERSON NAMED BELOW TO FILE THIS APPLICATION AS MY AGENT.

**NAME OF APPLICANT:**

LAST NAME Johnson FIRST NAME Carter  
ADDRESS 1435 N Highland Ave SUITE \_\_\_\_\_  
CITY Atlanta STATE GA ZIP CODE 30306

OWNER'S TELEPHONE NUMBER: 404-697-6056

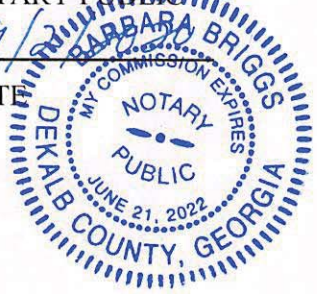
[Handwritten Signature]  
SIGNATURE OF OWNER

Carter W. Johnson  
PRINT NAME OF OWNER

PERSONALLY APPEARED BEFORE ME THE ABOVE NAMES, WHO SWEARS THAT THE INFORMATION CONTAINED IN THIS AUTHORIZATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Handwritten Signature]  
NOTARY PUBLIC

9/9/2020  
DATE



**From:** Michael J. Rust [mrust@grsmb.com](mailto:mrust@grsmb.com)  
**Subject:** Deck Exception  
**Date:** September 2, 2020 at 5:46 PM  
**To:** Woody Johnson [woodyj56@gmail.com](mailto:woodyj56@gmail.com)



Woody-

V-20-122

As you know, Lora and I own 1431 N. Highland Ave. We have no objection to the deck expansion planned for your home. It should be a beautiful addition. Feel free to forward this email to the City and any Neighborhood Planning Unit as necessary. Michael

**Michael J. Rust**  
**Gray, Rust, St. Amand, Moffett, & Brieske LLP**  
950 East Paces Ferry Road, N.E.  
Suite 1700 – Salesforce Tower Atlanta  
Atlanta, GA 30326  
404-870-7375 (Telephone)  
404-870-1075 (Facsimile)  
404-578-5286 (Cell)  
[mrust@grsmb.com](mailto:mrust@grsmb.com)  
[www.grsmb.com](http://www.grsmb.com)

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**From:** Kenn Wagner kennviolin@gmail.com  
**Subject:** Deck construction 1535 North Highland ave 30306  
**Date:** September 1, 2020 at 7:01 PM  
**To:** Johnson Woody woodyj56@gmail.com

To whom it may concern,

V-20-122

I, Kenn Wagner, owner of 1439 N Highland Ave NE, next door to 1535 North Highland ave 30306. We have no objection to the deck being constructed by Carter W Johnson. Please feel free to contact me if you have any other questions .

Sincerely,

Kenn Wagner  
1439 N Highland Ave NE  
Atlanta, Ga 30306  
404-210-8501

**IMPORTANT:** This message (including any attachments) contains confidential information intended for a specific individual and purpose, and is protected by law. If you are not the intended recipient, you should delete this message immediately and are hereby notified that any disclosure, copying or distribution of this message, or the taking of any action based on it, is strictly prohibited. Further, the contents of this email and any attachments it may be associated with may be protected by the copyright laws of the United States.



**NOTES:**

- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- DISTURBED AREAS LEFT IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION AND MULCH, DISTURBED AREAS REMAINING IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.
- SILT FENCE SHALL BE "TYPE C" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND SHALL BE WIRE-REINFORCED.
- TOTAL AREA DISTURBED = 1,259 SF (0.029 ACRES). DISTURBED AREAS LEFT IDLE SHALL BE ESTABLISHED WITH TEMPORARY VEGETATION AFTER 14 DAYS. AFTER 30 DAYS PERMANENT VEGETATION SHALL BE ESTABLISHED.
- ONE (1) TREE WILL BE REMOVED. ONE (1) TREE WILL BE IMPACTED - SEE TREE IMPACT ANALYSIS THIS PAGE, SEE TREE SAVE FENCE DTL (TS-1) ON SP2.
- DIRT STATEMENT:  
CUT = 45 CU. YDS.  
FILL = 20 CU. YDS.
- PROPERTY IS NOT IN A FLOOD PLAIN.
- NO GRADED SLOPE SHALL EXCEED 2h : 1v
- NO NEW GRADING IS REQUIRED FOR THE PROJECT.
- ALL UTILITIES ARE EXISTING IN THE FRONT AND BACK YARD. EXISTING SEWER SERVICE LINE IS SHOWN IN BACK YARD. IF ANY UTILITY MUST BE REPLACED, WRITTEN APPROVAL BY THE CITY OF ATLANTA ARBORIST AND SITE DEVELOPMENT DEPARTMENTS IS REQUIRED.

**ZONING ANALYSIS:**

- ZONING CLASSIFICATION = R-4 (CITY OF ATLANTA)
  - SETBACKS:  
FRONT = 35 FEET  
SIDES = 7 FEET  
REAR = 15 FEET
  - LOT AREA = 7,525 SF (0.172 ACRES)
  - ALLOWABLE LOT COVERAGE = 3,762 SF = 50%
- PROPOSED LOT COVERAGE = 3,579 SF = 48%
- HOUSE (EXIS) = 1,398 SF  
9CR PORCH (EXIS) = 110 SF  
GARAGE (EXIS) = 381 SF  
DECK & STAIR (NEW) = 353 SF  
SITE WALLS (EXIS) = 145 SF  
DRIVES + WALKS (EXIS) = 1,192 SF
- ALLOWABLE F.A.R. = 3,762 SF = 0.50
  - EXISTING F.A.R. = 2,633 SF = 0.35  
PROPOSED F.A.R. = NO CHANGE
  - MAX HEIGHT ALLOWANCE = 35 FEET NOT EXCEEDED.

**PROJECT CONTACTS:**

OWNER: WOODY & VICKI JOHNSON  
1435 NORTH HIGHLAND AVE NE  
ATLANTA, GA 30306  
(404) 697-0056  
woodyjb6@gmail.com

CONTACT

DESIGNER: J. SMYTH DESIGN, LLC  
2285 PEACHTREE ROAD NE #1001  
ATLANTA, GA 30309  
(404) 351-8080  
john@j Smythdesign.com

CONTACT

CONTRACTOR: WOODY JOHNSON  
1435 NORTH HIGHLAND AVE NE  
ATLANTA, GA 30306  
(404) 697-0056 = WOODY JOHNSON  
woodyjb6@gmail.com

24-HR CONTACT (404) 697-0056 = WOODY JOHNSON  
woodyjb6@gmail.com



V-20-122

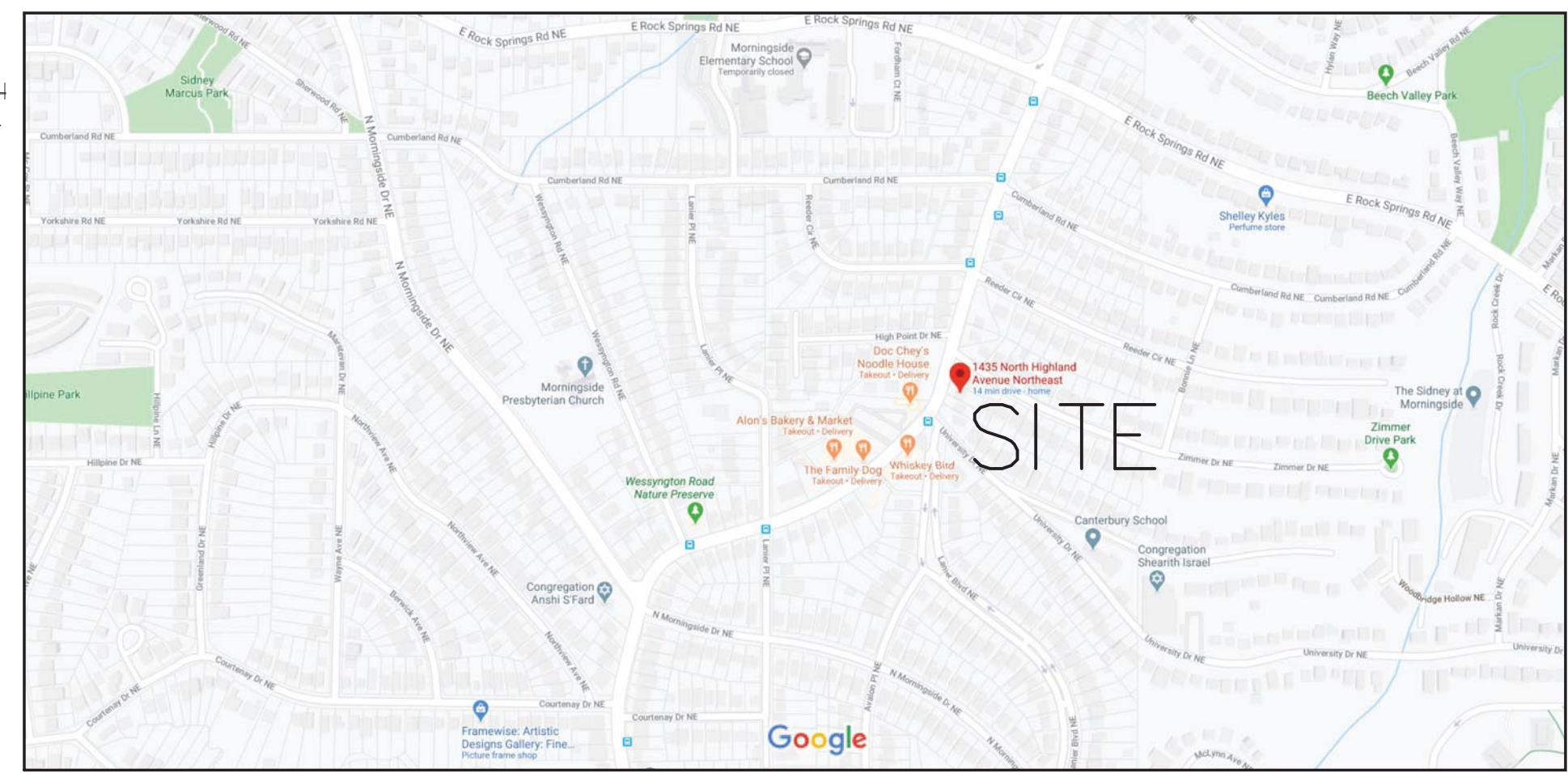
**SCOPE OF WORK DESCRIPTION:**

CONSTRUCT NEW EXTERIOR REAR DECK AND STAIR, WITH RENOVATIONS TO THE EXISTING REAR EXTERIOR STAIR, ALSO INTERIOR RENOVATIONS AT EXISTING 2ND FLOOR RESIDENCE.

NOTE: EROSION CONTROLS SHALL BE INSTALLED PRIOR TO ANY SITE DEMOLITION OR CONSTRUCTION, IN ACCORDANCE WITH THESE NEW CONSTRUCTION SITE PLANS.

**SHEET INDEX:**

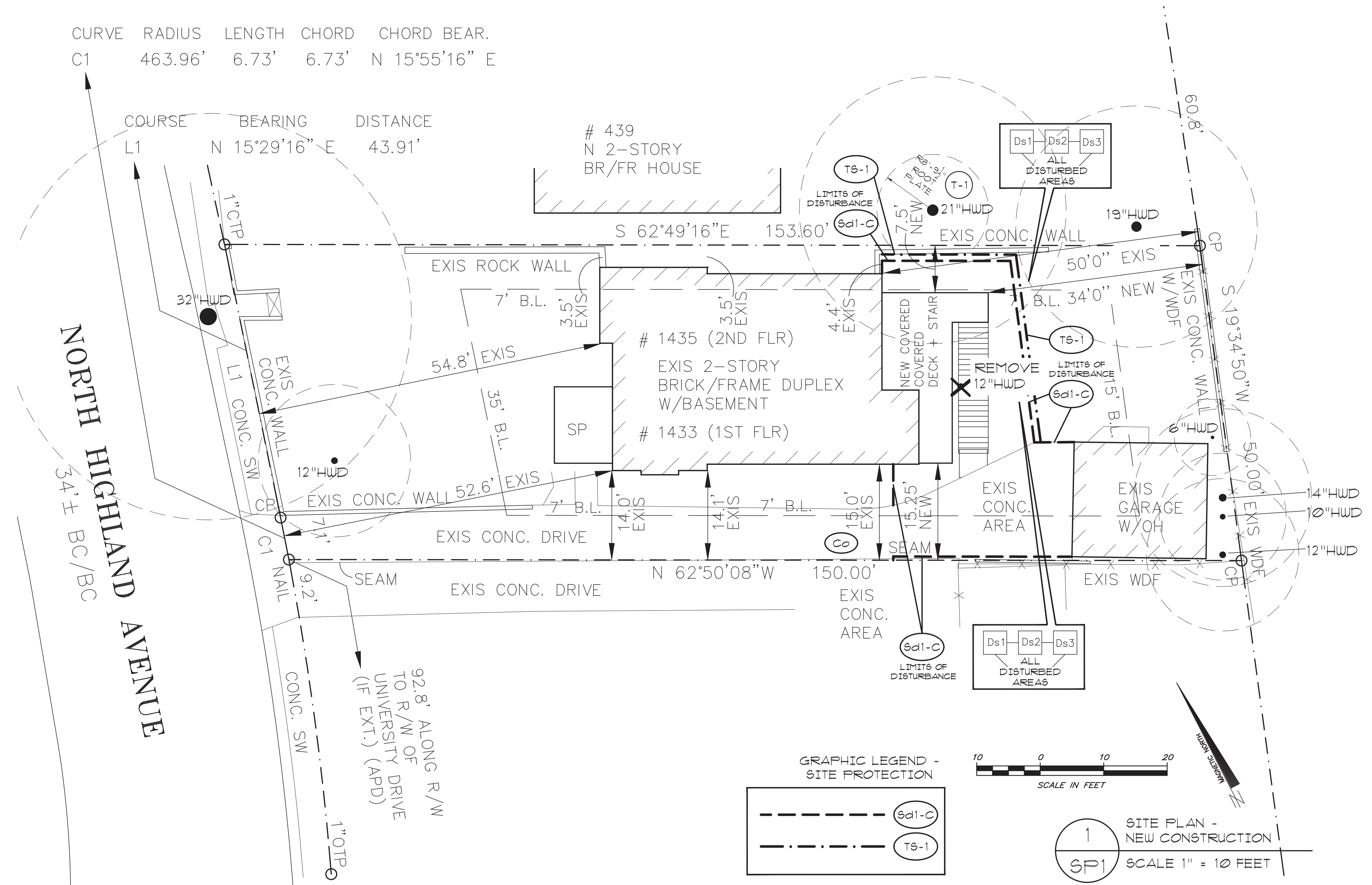
- SP1 - CONSTRUCTION SITE PLAN, GENERAL NOTES AND DETAILS, EROSION & SEDIMENT CONTROL (E&SDC), WATER QUALITY PLAN, TREE PROTECTION PLAN AND TREE NOTES.
- SP2 - GENERAL SITE NOTES AND DETAILS, WATER QUALITY NOTES AND DETAILS.



VICINITY MAP (N.T.S.)

CURVE	RADIUS	LENGTH	CHORD	CHORD BEAR.
C1	463.96'	6.73'	6.73'	N 15°55'16" E

COURSE	BEARING	DISTANCE
L1	N 15°29'16" E	43.91'



**TREE IMPACT ANALYSIS:**

(T-1) EXISTING 21" HARDWOOD  
"NET" CRZ = 1,303 SF (EXIS SITE WALL AND HOUSE)  
IMPACTED AREA = 249 SF = 19%

**PROPOSED TREE REMOVAL SUMMARY:**

TREE TYPE	Nrem	Nrep	TDBHrem	TCIrep
HARDWOOD	1	0	12	0
TOTAL	1	0	12	0

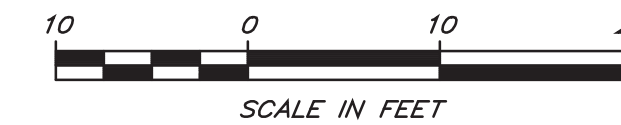
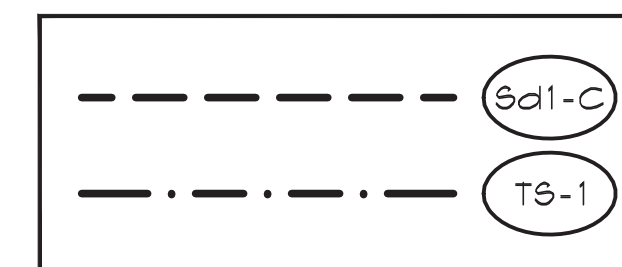
**TREE RECOMPENSE CALCULATIONS:**

ZONING = R-4 (CITY OF ATLANTA)  
TOTAL LOT AREA = 7,525 SF (0.172 ACRES)

TERMS USED:  
R = Total Recompense  
Nrem = Total No. Trees Removed = 1  
Nrep = Total No. Trees Replaced = 0  
TDBHrem = Total Caliper Inches of Trees Removed = 12  
TCIrep = Total Caliper Inches of Trees Replaced = 0

$R = 100 \times (1 - 0) + 130 \times (12 - 0) = 1460.00$

**GRAPHIC LEGEND - SITE PROTECTION**



1  
SP1  
SITE PLAN - NEW CONSTRUCTION  
SCALE 1" = 10 FEET

ISSUED FOR CONSTRUCTION - JULY 26, 2020

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**J Smyth design**  
residential architecture  
2285 Peachtree Road NE #1001  
Atlanta, GA 30309  
(404) 351-8080  
www.j Smythdesign.com

STAMP(S)

DATE	SYMBOL	REVISIONS DESCRIPTION
7/26/20	JTB	ISSUED FOR CONSTRUCTION

CLIENT NAME: WOODY & VICKI JOHNSON  
PROJECT ADDRESS: 1435 NORTH HIGHLAND AVE NE  
ATLANTA, GA 30306  
DRAWING SET: ISSUED FOR CONSTRUCTION  
THESE DRAWINGS AND ALL REPRODUCTIONS ARE THE PROPERTY OF J. SMYTH DESIGN, LLC AND MAY BE USED OR REPRODUCED ONLY WITH THE WRITTEN PERMISSION OF J. SMYTH DESIGN, LLC.

ISSUE DATE: 07/26/2020  
DRAWN BY: JTB CHECKED BY: JTB  
SCALE: (AS NOTED)  
SHEET DESCRIPTION

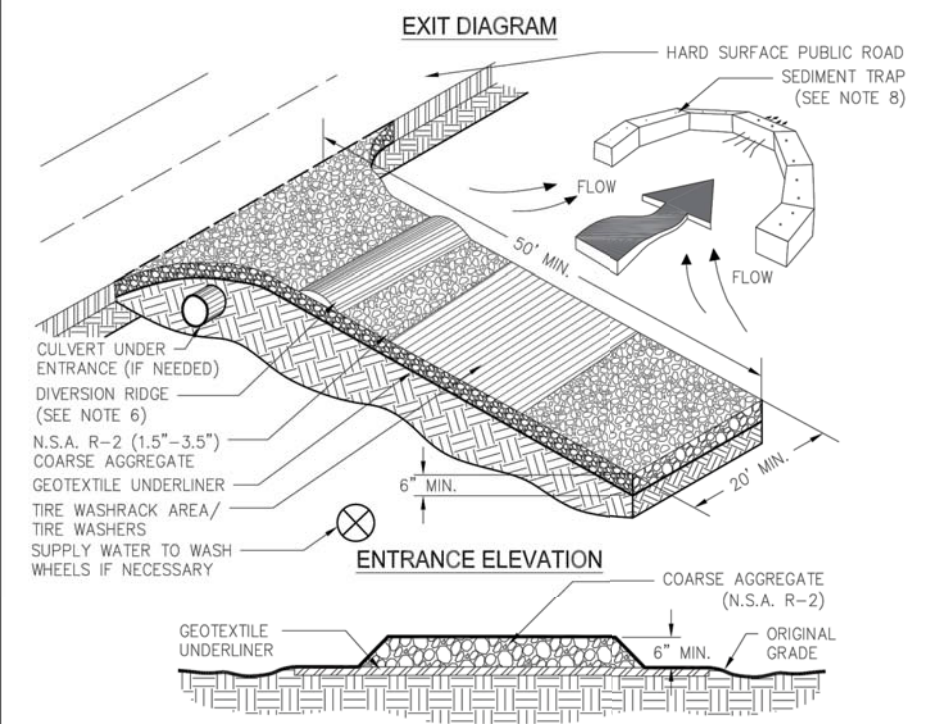
SHEET NUMBER  
**SP1**



OFFICE OF ZONING & DEVELOPMENT  
**RECEIVED**  
 DATE: 9/9/2020

V-20-122

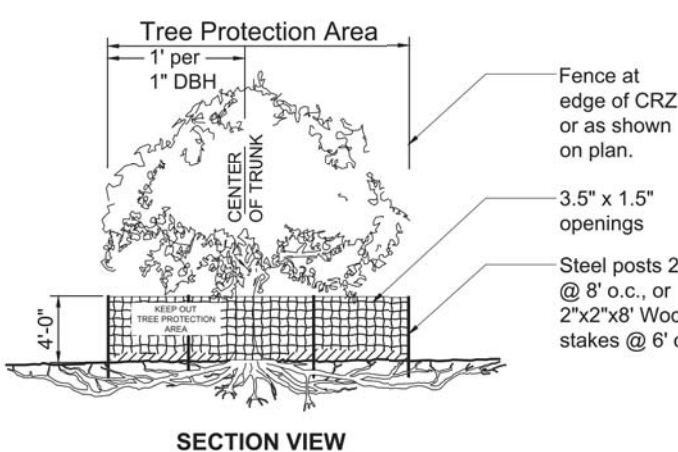
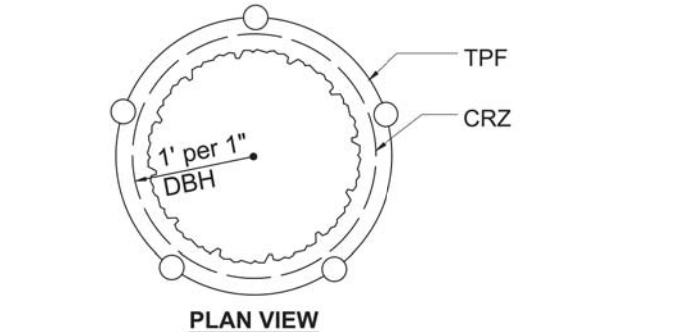
**CRUSHED STONE CONSTRUCTION EXIT**



- NOTES:**
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
  2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
  3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
  4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 4".
  5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
  6. A DIVERSION ROSE SHOULD BE CONSTRUCTED TOWARD PAVED AREA IF GREATER THAN 20'.
  7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
  8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (SEE ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
  9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
  10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

Figure 6-14.1

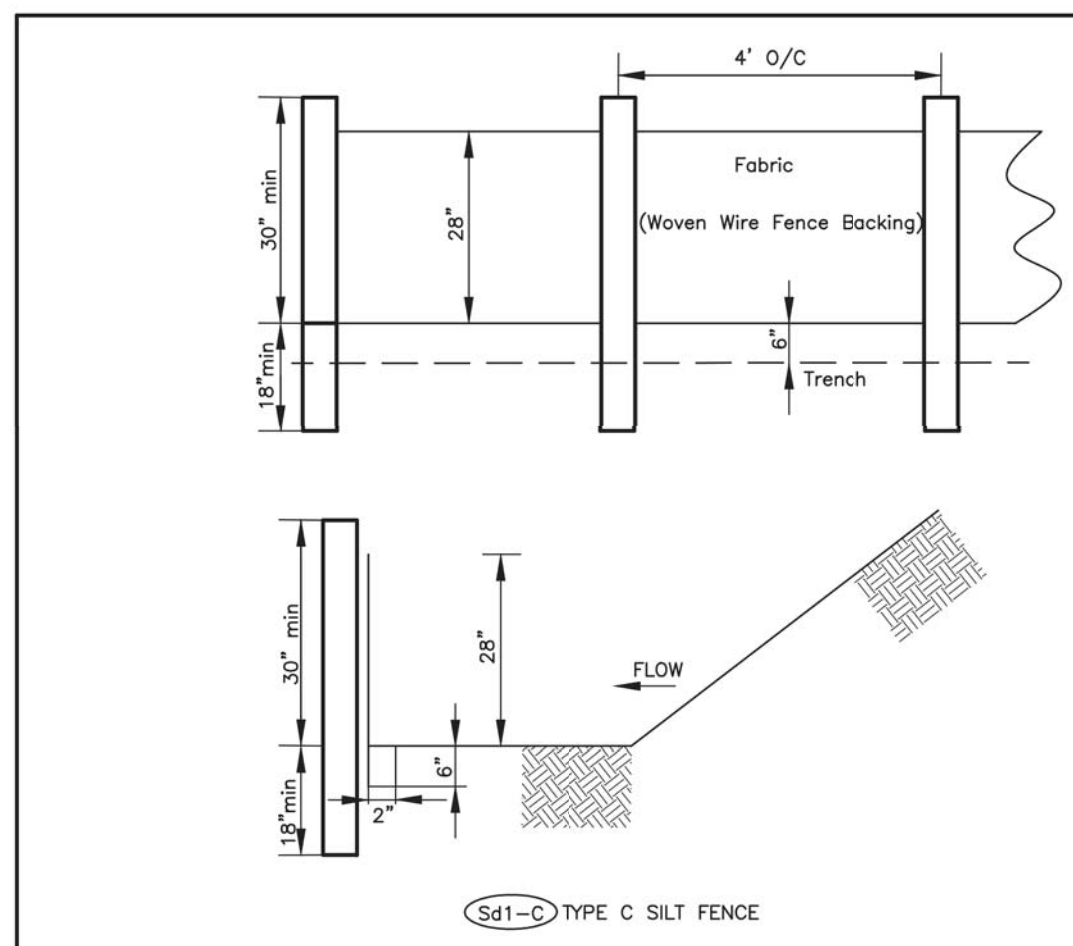
**CRUSHED STONE CONSTRUCTION EXIT**  
 NOT TO SCALE



- NOTES:**
1. No construction activity with CRZ, including no storing or stacking materials. Under no circumstances should the fence be trenched in.
  2. Tree Protection Fence (TPF) shall remain in place and maintained by repair or replacement throughout construction period or until landscape operations dictate adjustment or removal.

THIS DETAIL WAS TAKEN FROM THE CITY OF ATLANTA'S WEBSITE. IT MAY HAVE BEEN MODIFIED AND SHOULD BE REVIEWED THOROUGHLY.

City of Atlanta  
**STANDARD DETAILS**  
**TREE PROTECTION—ORANGE PLASTIC FENCE**  
 REV. DATE: JUNE 2017  
 ORG. DATE: N.T.S.  
 SCALE: N.T.S.  
 DETAIL NO. A-3



**SILT FENCE**

THE MANUFACTURER SHALL HAVE EITHER AN APPROVED COLOR MARK YARN IN THE FABRIC OR LABEL THE FABRICATED SILT FENCE WITH BOTH THE MANUFACTURER AND FABRIC NAME EVERY 100 FEET.

THE TEMPORARY SILT FENCE SHALL BE INSTALLED ACCORDING TO THIS SPECIFICATION, AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. FOR INSTALLATION OF THE FABRIC, SEE DETAIL.

POST INSTALLATION SHALL START AT THE CENTER OF THE LOW POINT (IF APPLICABLE) WITH THE REMAINING POSTS SPACED 4 FEET APART FOR TYPE C SILT FENCE. ONLY STEEL POST SHALL BE USED WITH TYPE C SILT FENCE. POSTS SHALL BE 4" IN LENGTH, 1.3 LBS/ FT. ALONG STREAM BUFFERS AND OTHER SENSITIVE AREAS. TWO ROWS OF TYPE C SILT FENCE OR ONE ROW OF TYPE C SILT FENCE BACKED BY HAYBALES SHALL BE USED.

**MAINTENANCE FOR ALL Sd2 APPLICATIONS**

ALL TRAPS SHALL BE INSPECTED DAILY AND AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.

SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE HEIGHT OF THE TRAP. SEDIMENT SHALL BE REMOVED FROM CURB INLET PROTECTION IMMEDIATELY FOR EXCAVATED INLET SEDIMENT TRAPS. SEDIMENT SHALL BE REMOVED WHEN ONE-HALF OF THE SEDIMENT STORAGE CAPACITY HAS BEEN LOST TO SEDIMENT ACCUMULATION. 500 INLET PROTECTION SHALL BE MAINTAINED AS SPECIFIED IN D04—DISTURBED AREA STABILIZATION (WITH SOODING).

SEDIMENT SHALL NOT BE WASHED INTO THE INLET. IT SHALL BE REMOVED FROM THE SEDIMENT TRAP AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLET, AGAIN.

WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED, ALL MATERIALS AND ANY SEDIMENT SHALL BE REMOVED, AND EITHER SALVAGED OR DISPOSED OF PROPERLY. THE DISTURBED AREA SHALL BE BROUGHT TO PROPER GRADE, THEN SMOOTHED AND COMPACTED. ALL DISTURBED AREAS AROUND THE INLET SHALL BE APPROPRIATELY STABILIZED.

**DESIGN CRITERIA FOR ALL Sd2 APPLICATIONS**

MANY SEDIMENT FILTERING DEVICES CAN BE DESIGNED TO SERVE AS TEMPORARY SEDIMENT TRAPS. SEDIMENT TRAPS MUST BE SELF-DRAINING UNLESS THEY ARE OTHERWISE PROTECTED IN AN APPROVED FASHION THAT WILL NOT PRESENT A SAFETY HAZARD. THE AREA DRAINING TO THE INLET SEDIMENT TRAP SHALL BE NO GREATER THAN ONE ACRE.

IF RUNOFF MAY BYPASS THE PROTECTED INLET, A TEMPORARY DIKE SHOULD BE CONSTRUCTED ON THE DOWN SLOPE SIDE OF THE STRUCTURE. ALSO, A STONE FILTER RING MAY BE USED ON THE UP SLOPE SIDE OF THE INLET TO SLOW RUNOFF AND FILTER LARGER SOIL PARTICLES. REFER TO FR—STONE FILTER RING.

THIS DETAIL WAS TAKEN FROM THE CITY OF ATLANTA'S WEBSITE. IT MAY HAVE BEEN MODIFIED AND SHOULD BE REVIEWED THOROUGHLY.

City of Atlanta  
**STANDARD DETAILS**  
**TYPE C SILT FENCE**  
 REV. DATE: SEPT 2011  
 ORG. DATE: NOV 2004  
 SCALE: N.T.S.  
 DETAIL NO. ER-G, SD001

**Ds1** DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)

**MULCHING APPLICATION REQUIREMENTS**

MATERIAL	RATE	DEPTH
STRAW OR HAY	2-1/2 TONS/ACRE	6" TO 10"
WOOD WASTE, CHIPS, SAWDUST, BARK	6 TO 9 TONS/ACRE	2" TO 3"
CUTBACK ASPHALT	1200 GAL/AC OR 1/4 GAL/SQ.YD.	—
POLYETHYLENE FILM	SECURE WITH SOIL ANCHORS, WEIGHTS	—
CUTBACK ASPHALT	SEE MANUFACTURER'S RECOMMENDATIONS	—
GEOTEXTILES, JUTE MATTING, NETTING, ETC.	SEE MANUFACTURER'S RECOMMENDATIONS	—

**PERM. & TEMP. GROUND COVER**

Species	Broadcast Rates 2/ - PLS 3/ Per Acre Per 1000 sq.-ft.	Resource Area 4/	Planting Dates by Resource Areas	Remarks
<b>Ds2</b> MILLET, PEARL (Pennisetum glaucum) alone	50 lbs. 1.1 lb.	M-L P C	(Solid lines indicate optimum dates, dotted lines indicate permissible but marginal dates)	88,000 seed per pound. Quick dense cover. May reach 5 feet in height. Not recommended for mixtures.
OATS (Avena sativa) alone in mixtures	4 bu. 2.9 lb. (128 lbs.) 1 bu. 0.7 lb. (32 lbs.)	M-L P C		13,000 seed per pound; Use on productive soils. Not as winterhardy as rye or barley
RYE (Secale cereale) alone in mixtures	3 bu. 3.9 lb. (118 lbs.) 1/2 bu. 0.6 lb. (28 lbs.)	M-L P C		18,000 seed per pound. Quick cover. Drought tolerant and winterhardy
RYE alone	40 lbs. 0.9 lb.	M-L P C		227,000 seed per pound. Dense cover. Very competitive and is not to be used in mixtures
RYE alone	60 lbs. 1.4 lb.	M-L P C		55,000 seed per pound. Good on droughty sites. Not recommended for mixtures.
<b>Ds3</b> BAHA, PENSACOLA (Paspalum notatum) alone or with temporary cover with other perennials	60 lbs. 1.4 lb. 30 lbs. 0.7 lb.	P C		166,000 seed per pound. Low growing. Sod forming. Slow to establish. Plant with a companion crop. Will spread into bermuda pastures and lawns. Mix with Sericea lespedeza or winged lovegrass.
BAHA, WILMINGTON (Paspalum notatum) alone or with temporary cover with other perennials	60 lbs. 1.4 lb. 30 lbs. 0.7 lb.	M-L P C		Same as above
BERMUDA, COMMON (Cynodon dactylon) Hulled seed alone	10 lbs. 0.2 lb. 6 lbs. 0.1 lb.	P C		1,787,000 seed per pound. Quick cover. Low growing and sod forming. Full sun. Good for athletic fields.
BERMUDA, COMMON (Cynodon dactylon) Unhulled seed with other perennials	10 lbs. 0.2 lb. 6 lbs. 0.1 lb.	P C		Plant with winter annuals. Plant with Tall fescue.
BERMUDA, SPRINGS (Cynodon dactylon) Coastal Common, Midland, or Tilt 44 Coastal, Common, or Tilt 44 Tilt 78	40 cu.ft. 0.9 cu.ft. or sod plugs 3' x 3'	M-L P C C		A cubic foot contains approximately 650 sprigs. A bushel contains 1.25 cubic feet or approximately 800 sprigs. Same as above
FESCUE, TALL (Festuca arundinacea) alone with other perennials	50 lbs. 1.1 lb. 30 lbs. 0.7 lb. P	M-L P		227,000 seed per pound. Use alone only on better sites. Not for droughty soils. Mix with perennial lespedezas or Crowsfoot. Apply topdressing in spring following tall plantings. Not for heavy use areas or athletic fields.

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DATE	DESCRIPTION
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CLIENT NAME: **WOODY & VICKI JOHNSON**  
 PROJECT ADDRESS: **1435 NORTH HIGHLAND AVE NE ATLANTA, GA 30306**  
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SCALE (AS NOTED)

SHEET DESCRIPTION  
**SP2**



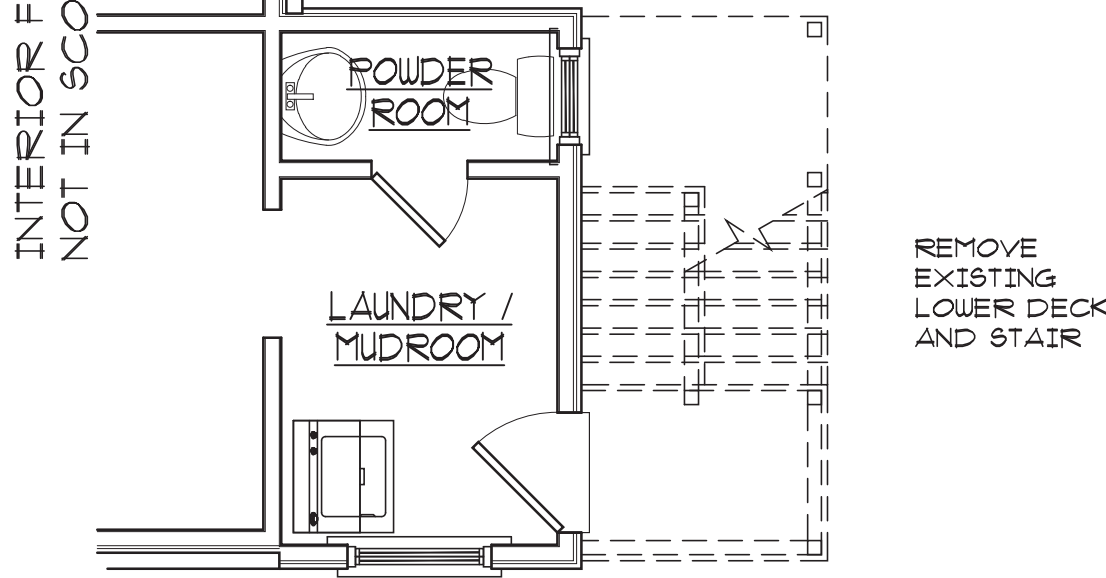




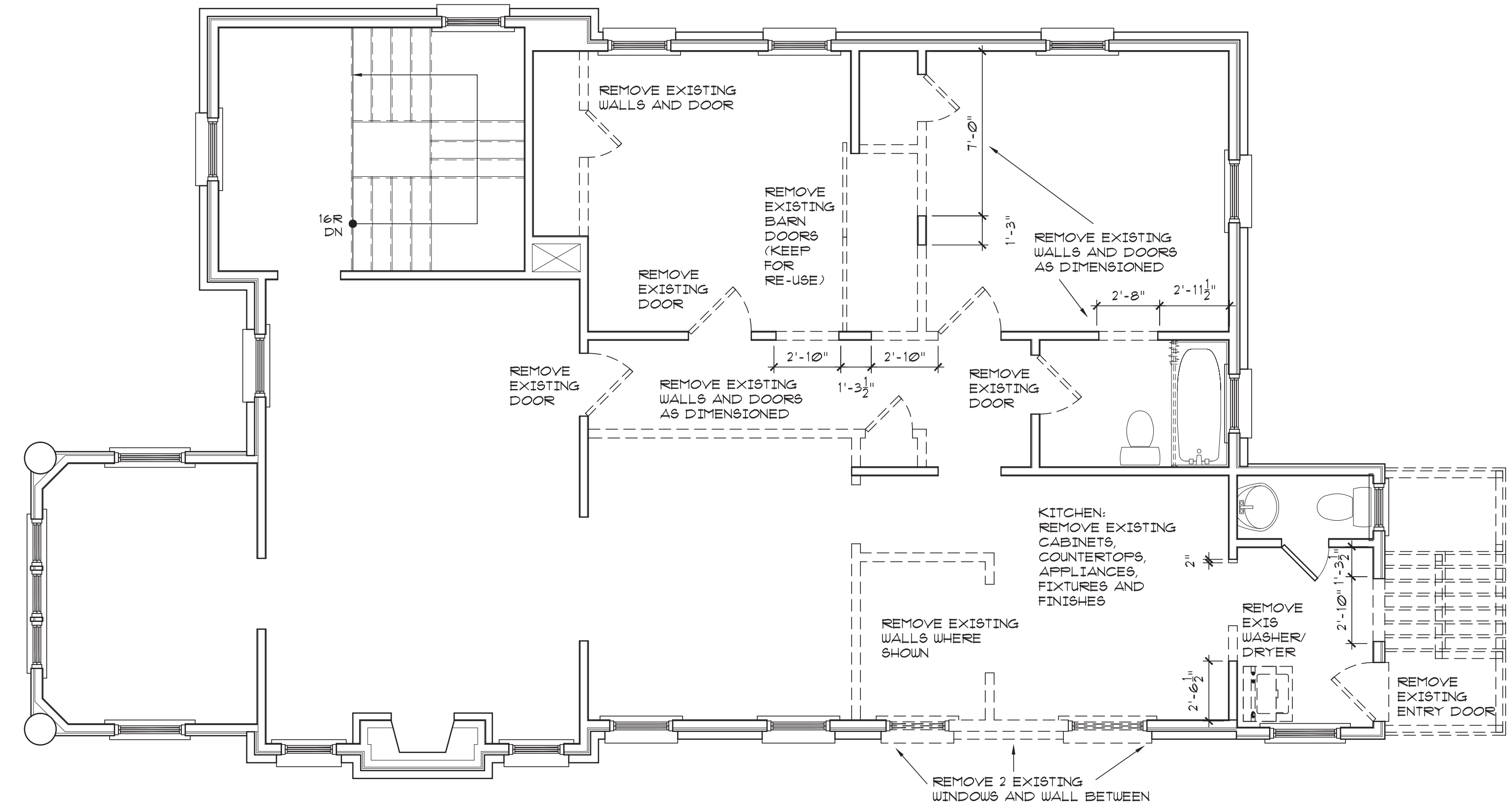
City of Atlanta | Department of City Planning  
**OFFICE OF ZONING & DEVELOPMENT**  
**RECEIVED**  
 DATE: 9/9/2020

V-20-122

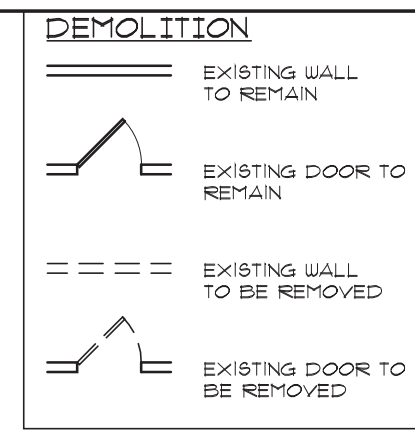
INTERIOR FIRST FLOOR  
 NOT IN SCOPE



**1A** DEMOLITION PLAN - FIRST FLOOR  
**A1** SCALE 1/4" = 1'-0"



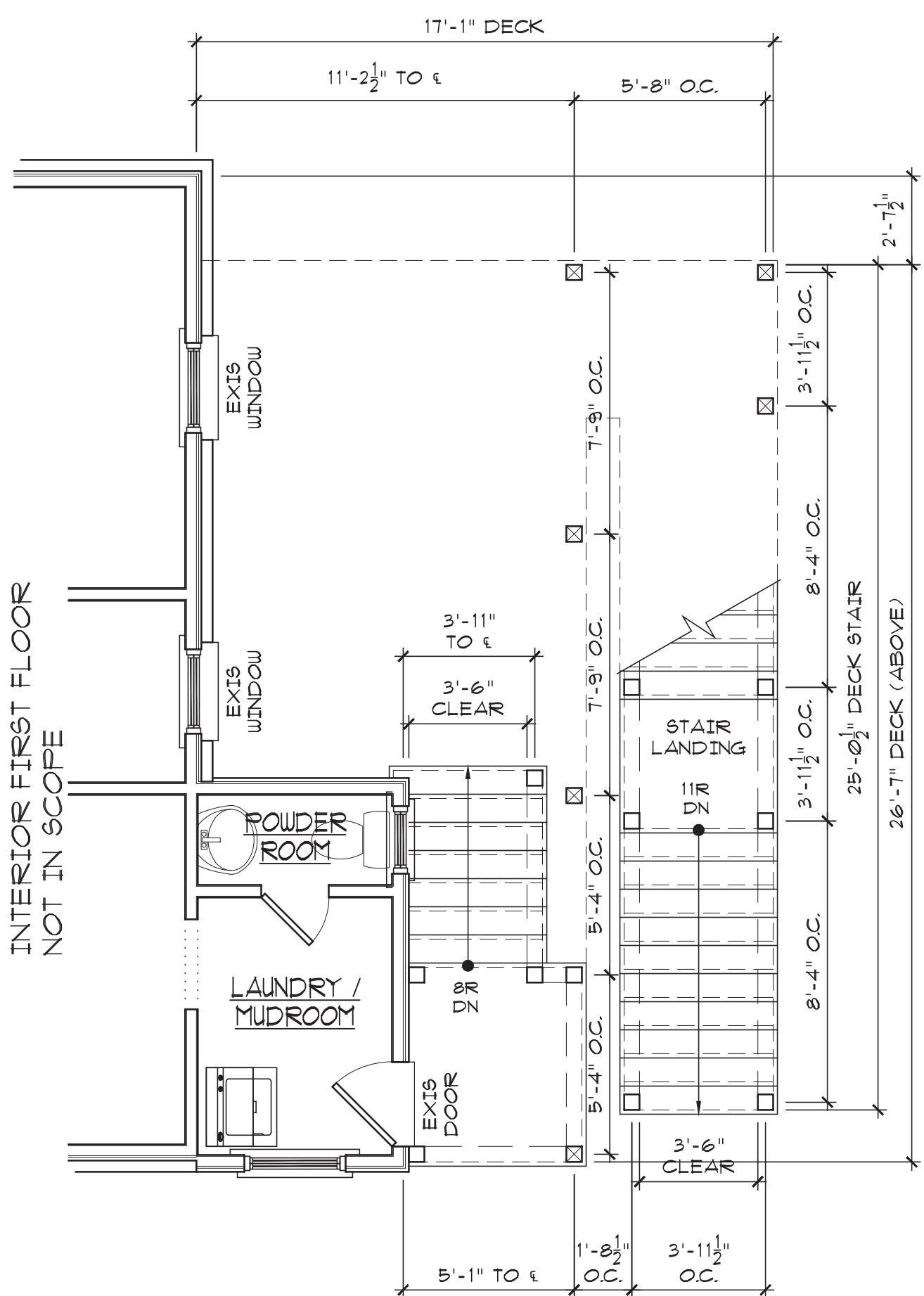
**2A** DEMOLITION PLAN - SECOND FLOOR  
**A1** SCALE 1/4" = 1'-0"



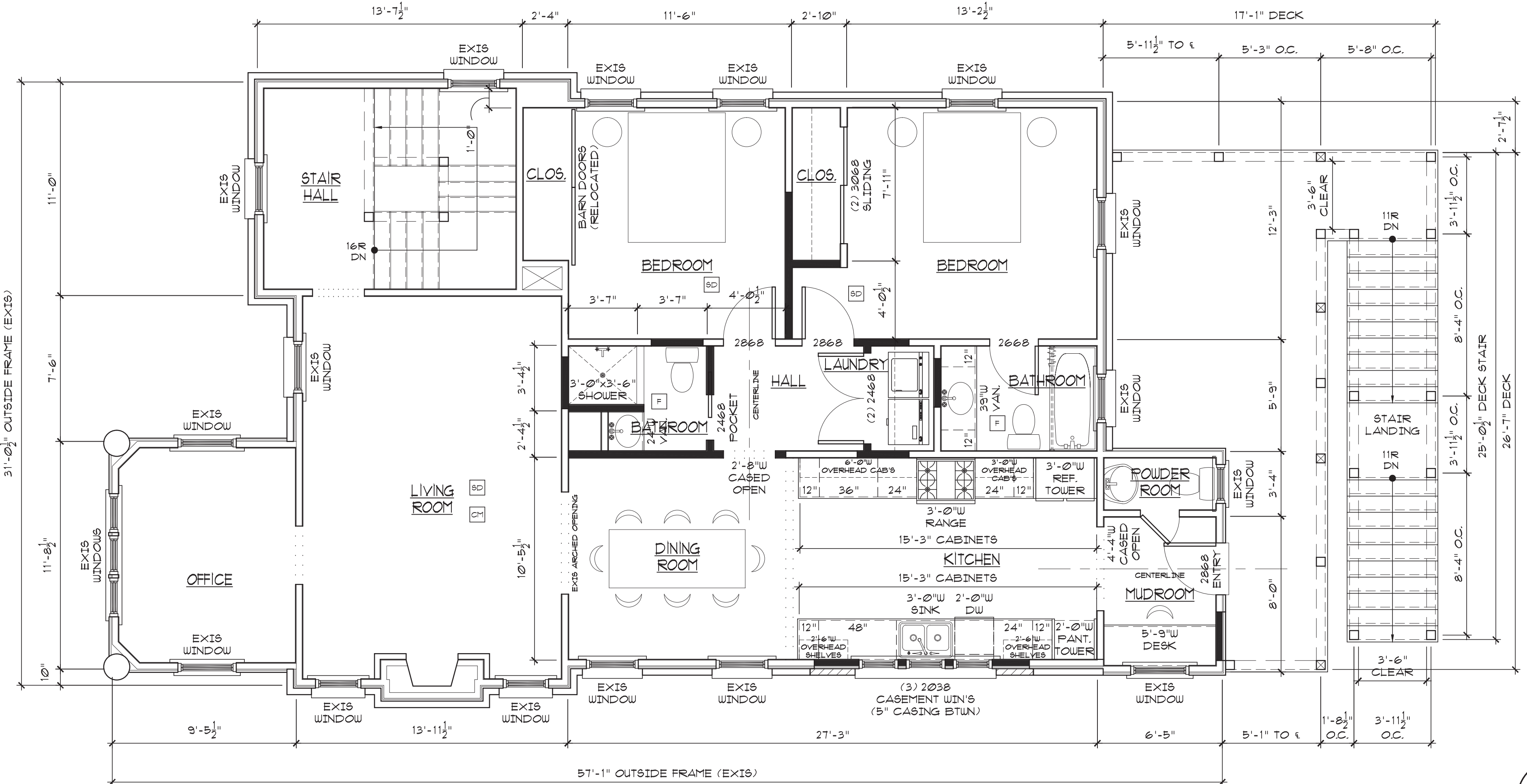
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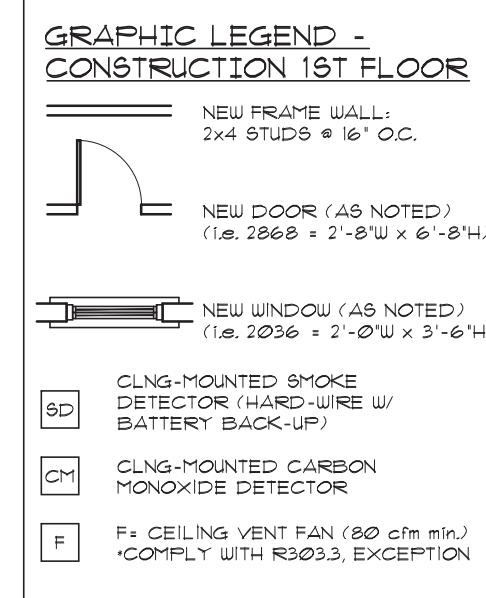
INTERIOR FIRST FLOOR  
 NOT IN SCOPE



**1B** CONSTRUCTION PLAN - FIRST FLOOR  
**A1** SCALE 1/4" = 1'-0"



**2B** CONSTRUCTION PLAN - SECOND FLOOR  
**A1** SCALE 1/4" = 1'-0"



ALL DIMENSIONS ARE TO FRAMING, UNO.  
 ALL WALLS TO BE 2x4 STUDS AT THIS LEVEL, UNO.

**EXIST SQUARE FOOTAGE SUMMARY:**

	HEATED	UNHEATED
1ST FLOOR	1,262 SF	103 SF (SCR PORCH) 58 SF (REAR DECK)
2ND FLOOR	1,371 SF	58 SF (REAR DECK)

**NEW SQUARE FOOTAGE SUMMARY:**

	HEATED	UNHEATED
1ST FLOOR	1,262 SF	103 SF (SCR PORCH) 58 SF (REAR DECK)
2ND FLOOR	1,371 SF	353 SF (REAR DECK)

STAMP(S)

SYMBOL

REVISIONS

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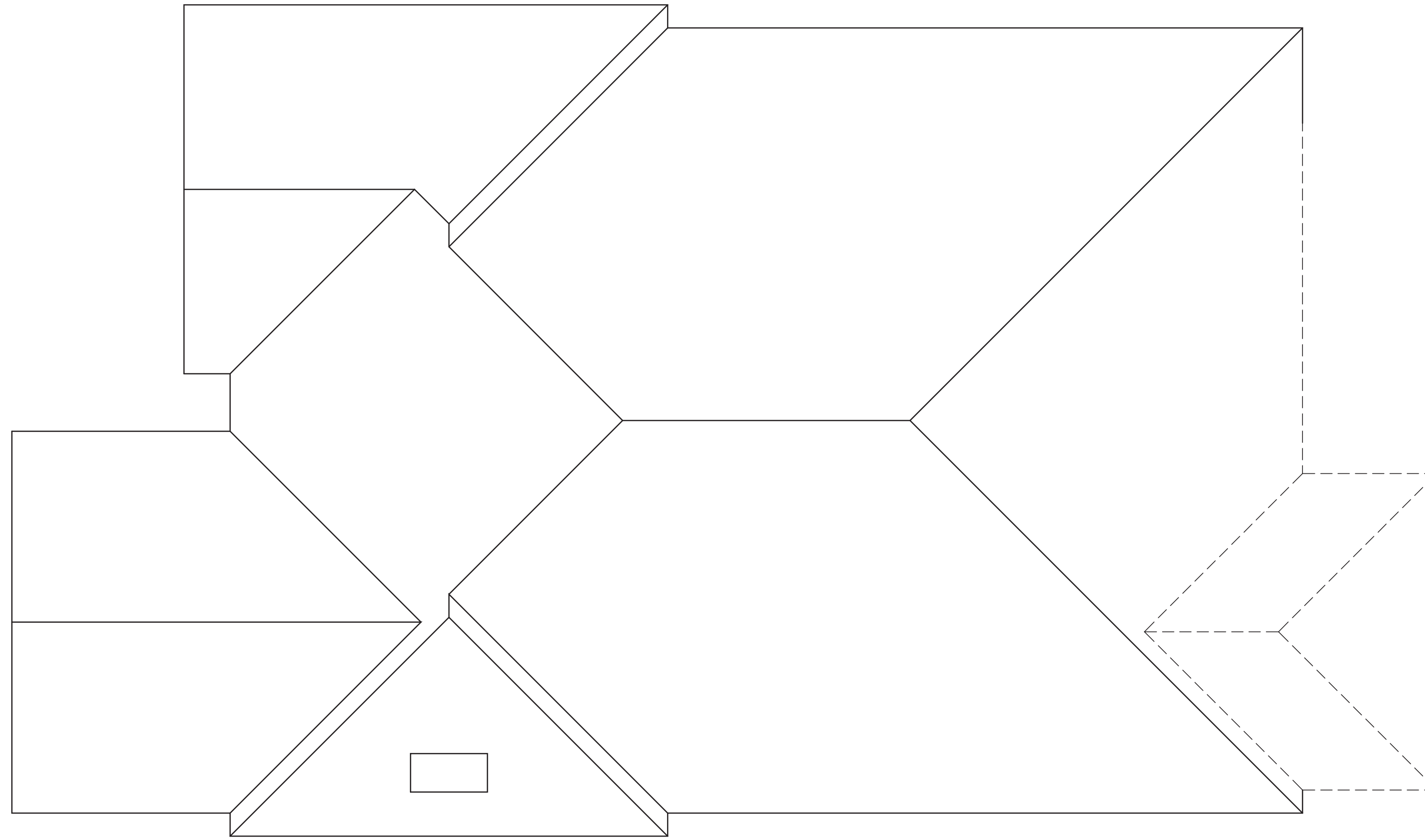
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SCALE (AS NOTED)

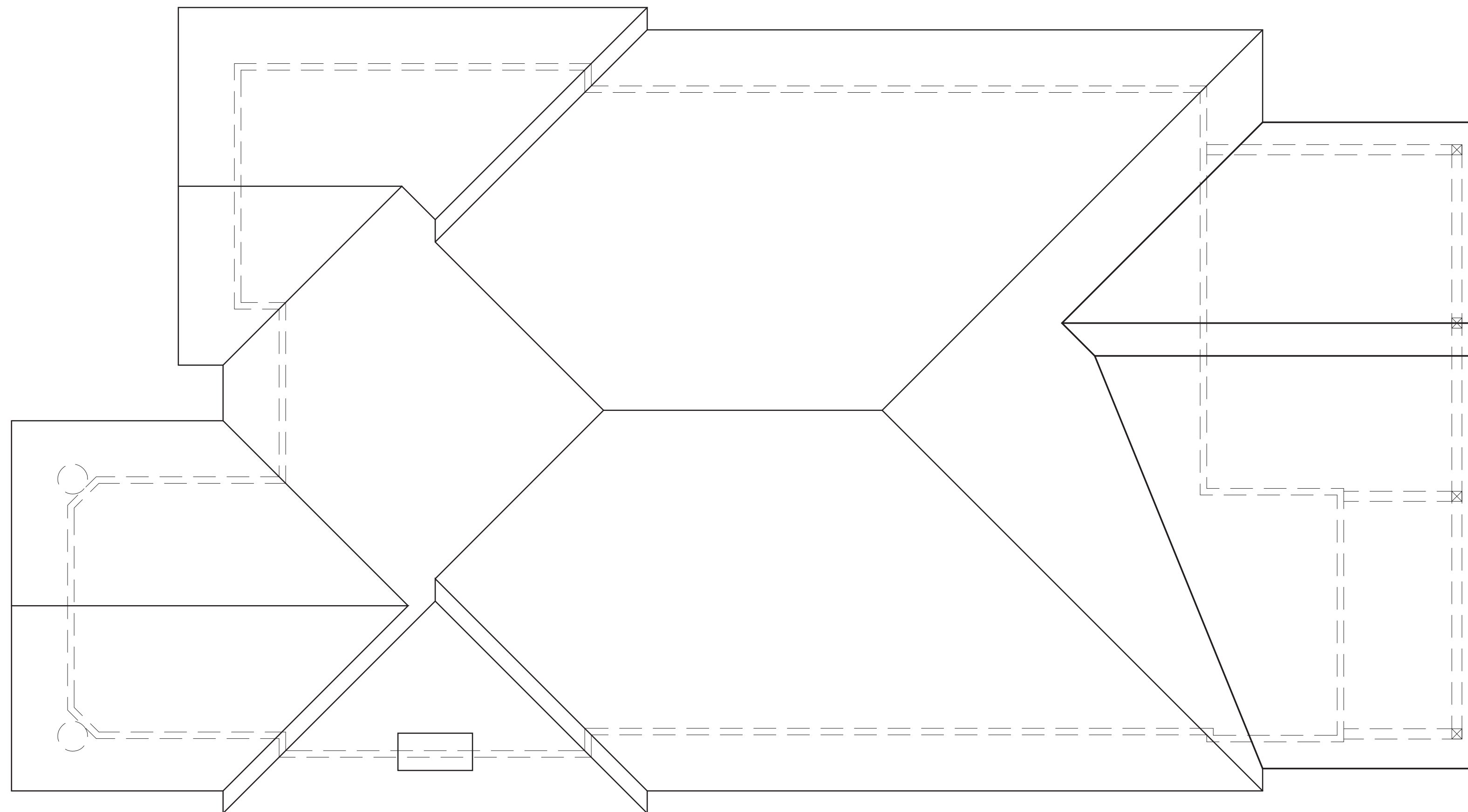
SHEET DESCRIPTION

SHEET NUMBER

**A1**



1 DEMOLITION PLAN - ROOF  
SCALE 1/4" = 1'-0"



EXIST SQUARE FOOTAGE SUMMARY:		
	HEATED	UNHEATED
1ST FLOOR	1,371 SF	0 SF

2 CONSTRUCTION PLAN - ROOF  
SCALE 1/4" = 1'-0"

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DATE	DESCRIPTION	SYMBOL
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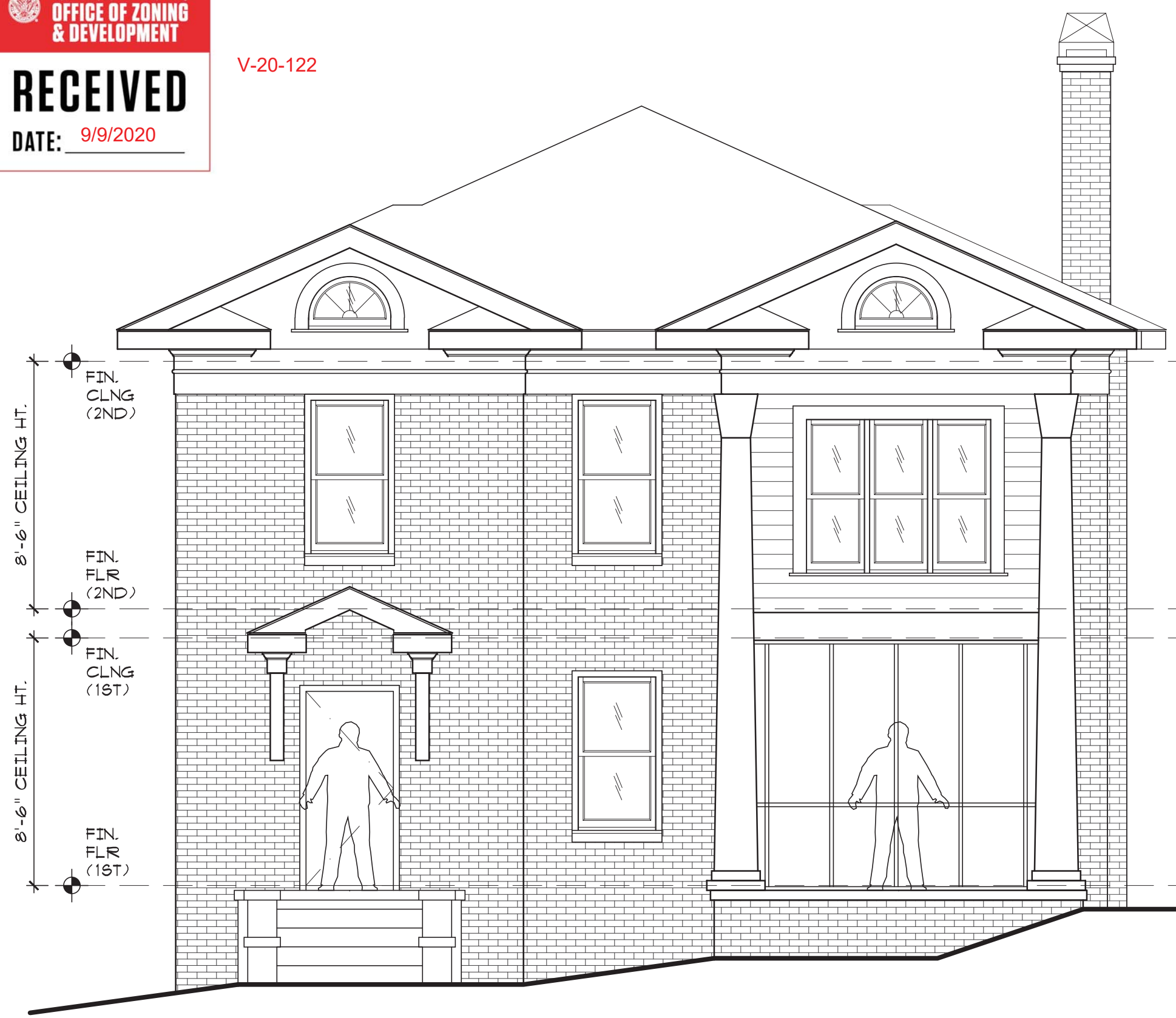
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SHEET DESCRIPTION

SHEET NUMBER  
**A2**





**1** ELEVATION FRONT (NORTHWEST) - EXISTING (NO PROPOSED CHANGES)
   
**A3** SCALE 1/4" = 1'-0"



**2A** ELEVATION SIDE 1 (SOUTHWEST) - EXISTING
   
**A3** SCALE 1/4" = 1'-0"



**2B** ELEVATION SIDE 1 (SOUTHWEST) - NEW
   
**A3** SCALE 1/4" = 1'-0"

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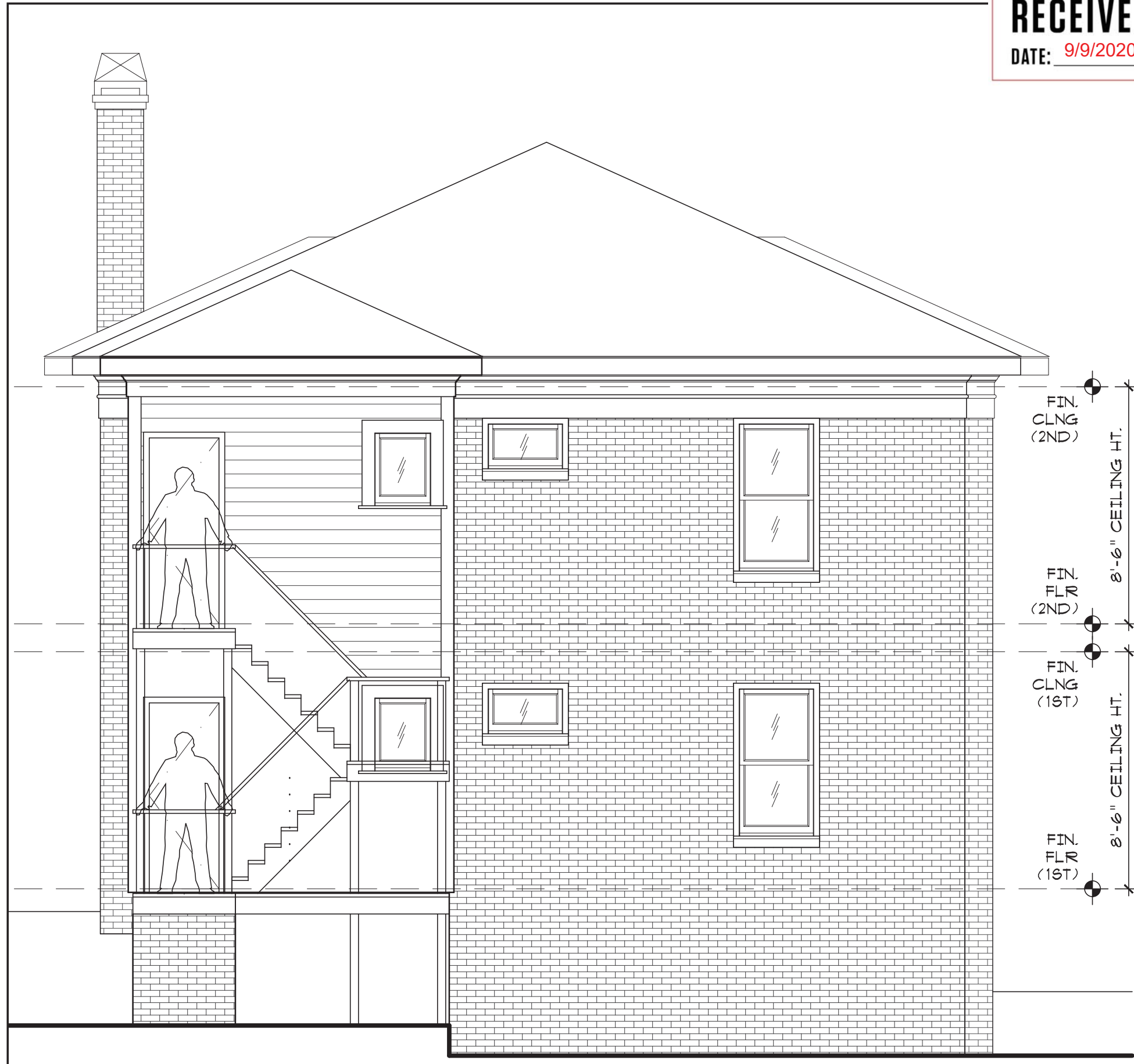
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DATE	SYMBOL	DESCRIPTION
7/26/20	A	ISSUED FOR CONSTRUCTION

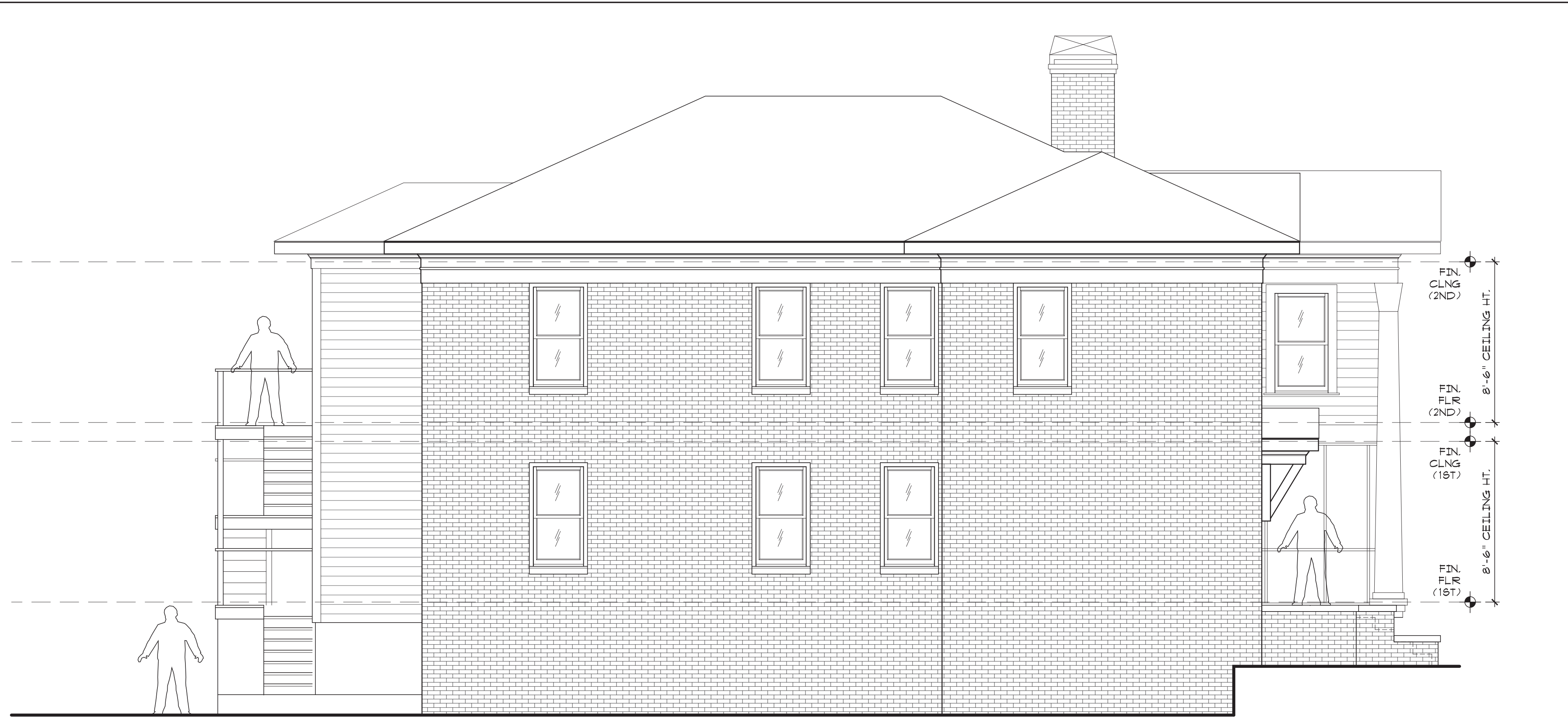
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 SHEET NUMBER **A3**

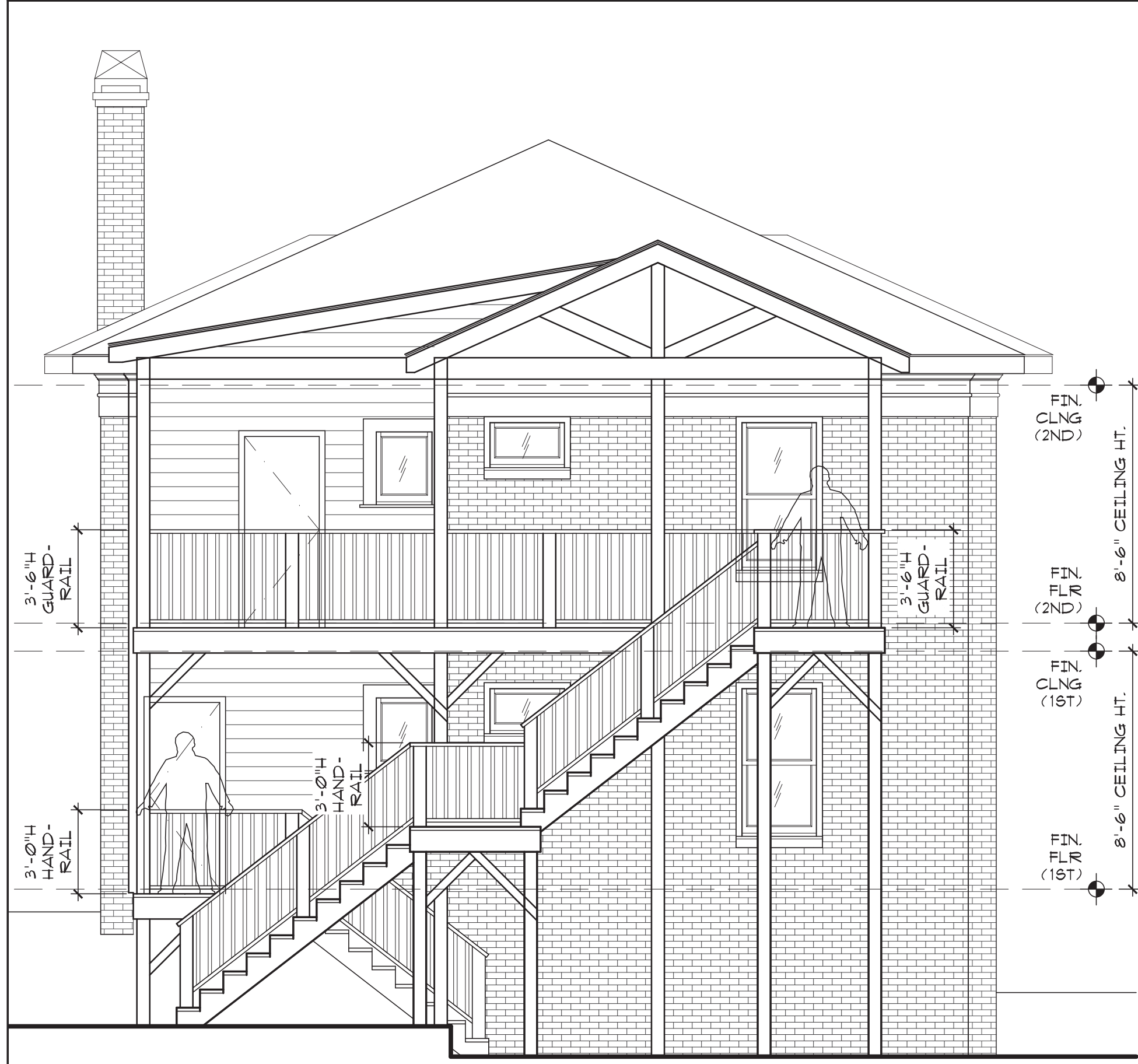




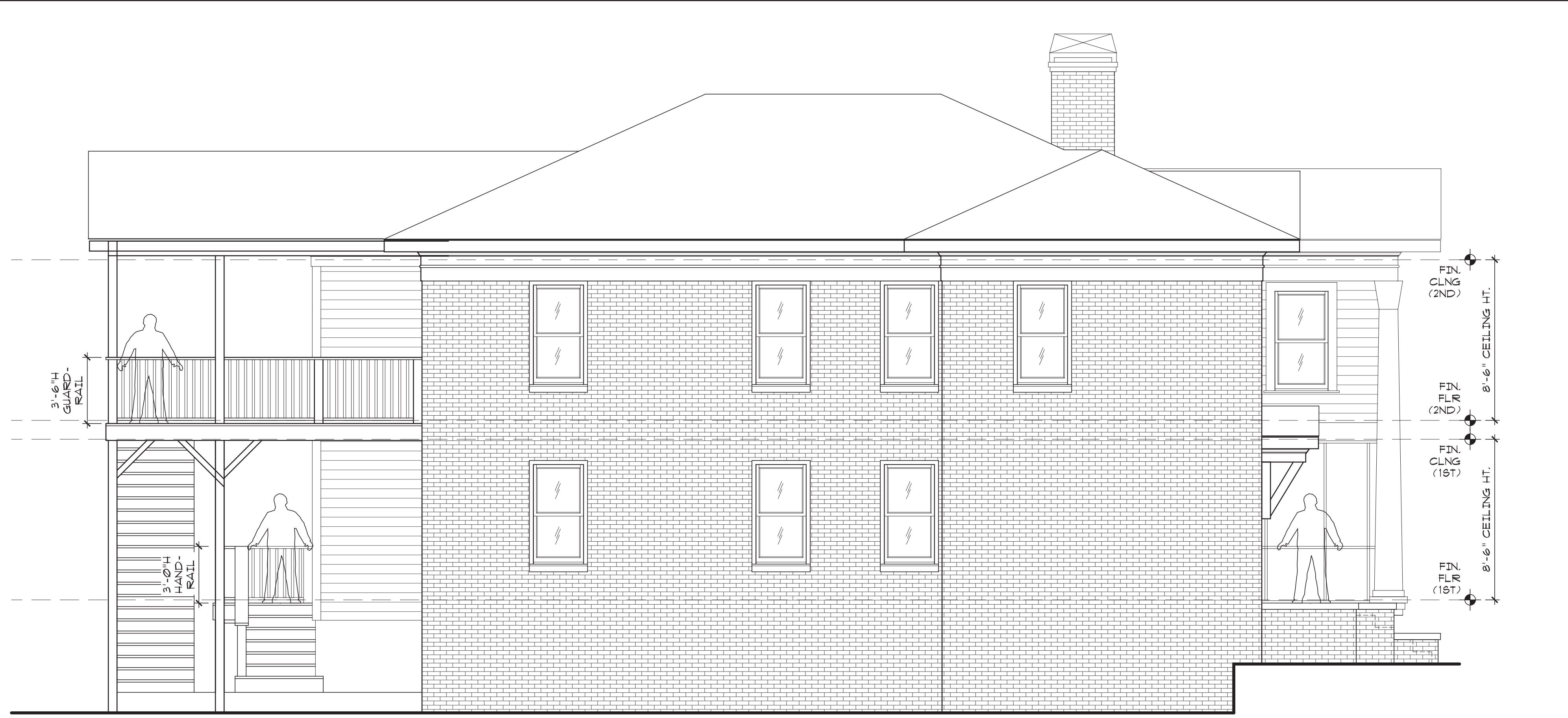
1A ELEVATION REAR (SOUTHEAST) - EXISTING  
 A4 SCALE 1/4" = 1'-0"



2A ELEVATION SIDE 2 (NORTHEAST) - EXISTING  
 A4 SCALE 1/4" = 1'-0"



1B ELEVATION REAR (SOUTHEAST) - NEW  
 A4 SCALE 1/4" = 1'-0"



2B ELEVATION SIDE 2 (NORTHEAST) - NEW  
 A4 SCALE 1/4" = 1'-0"

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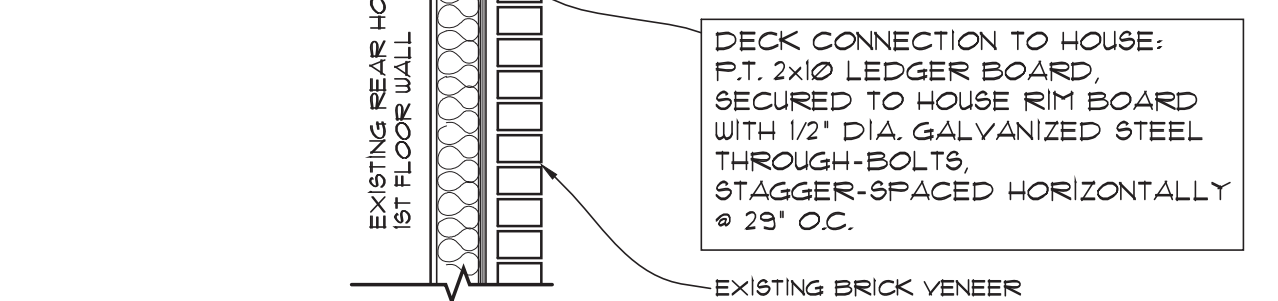
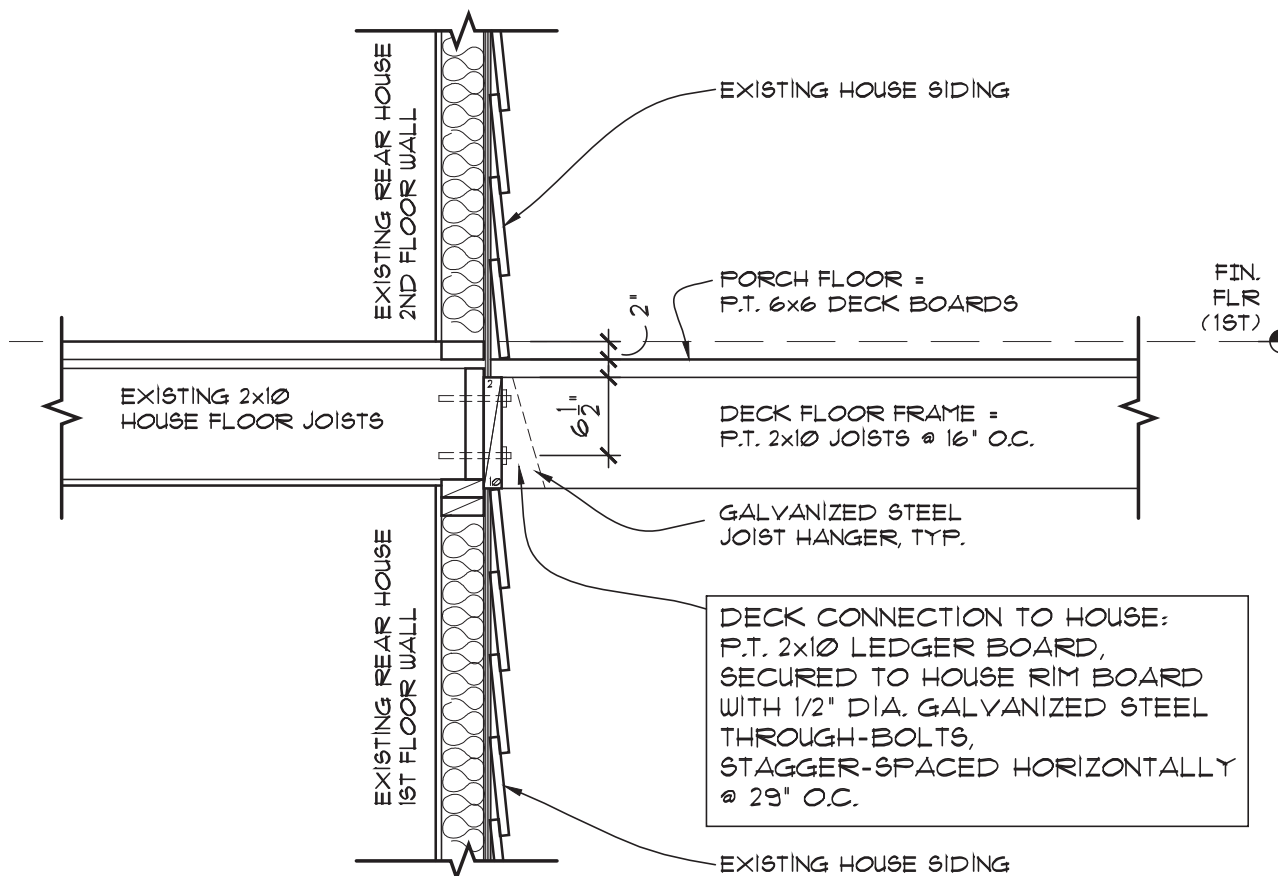
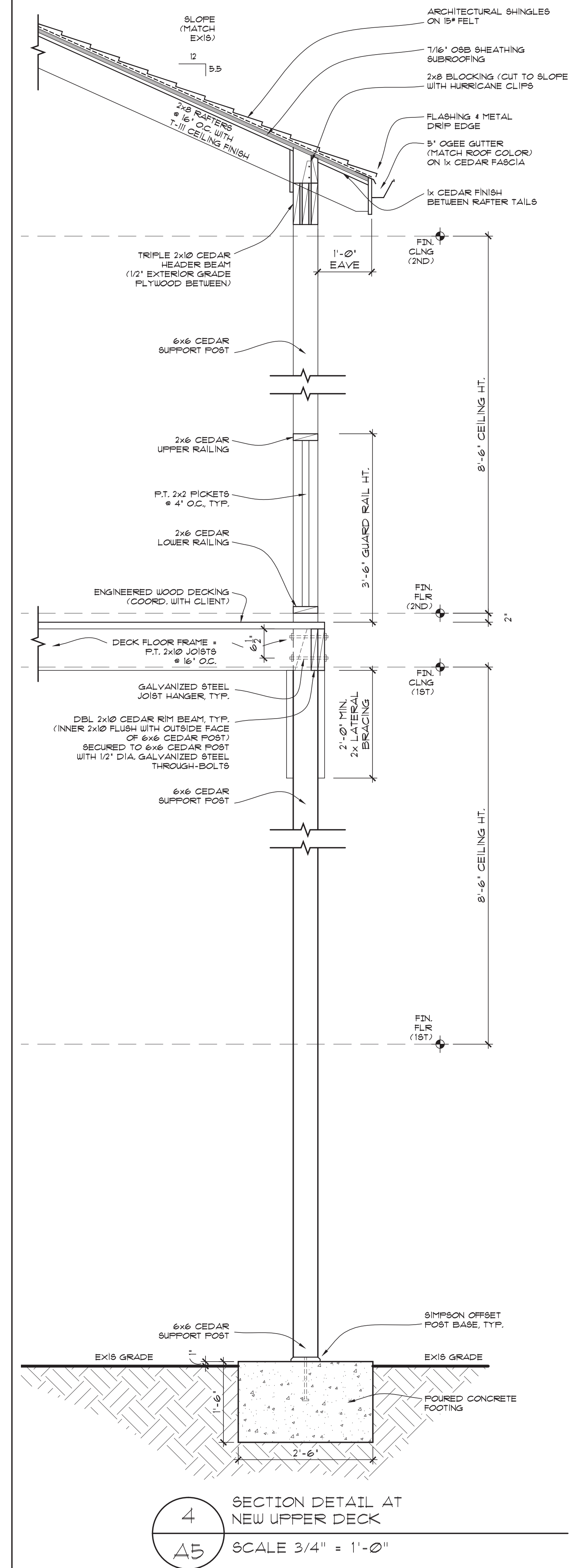
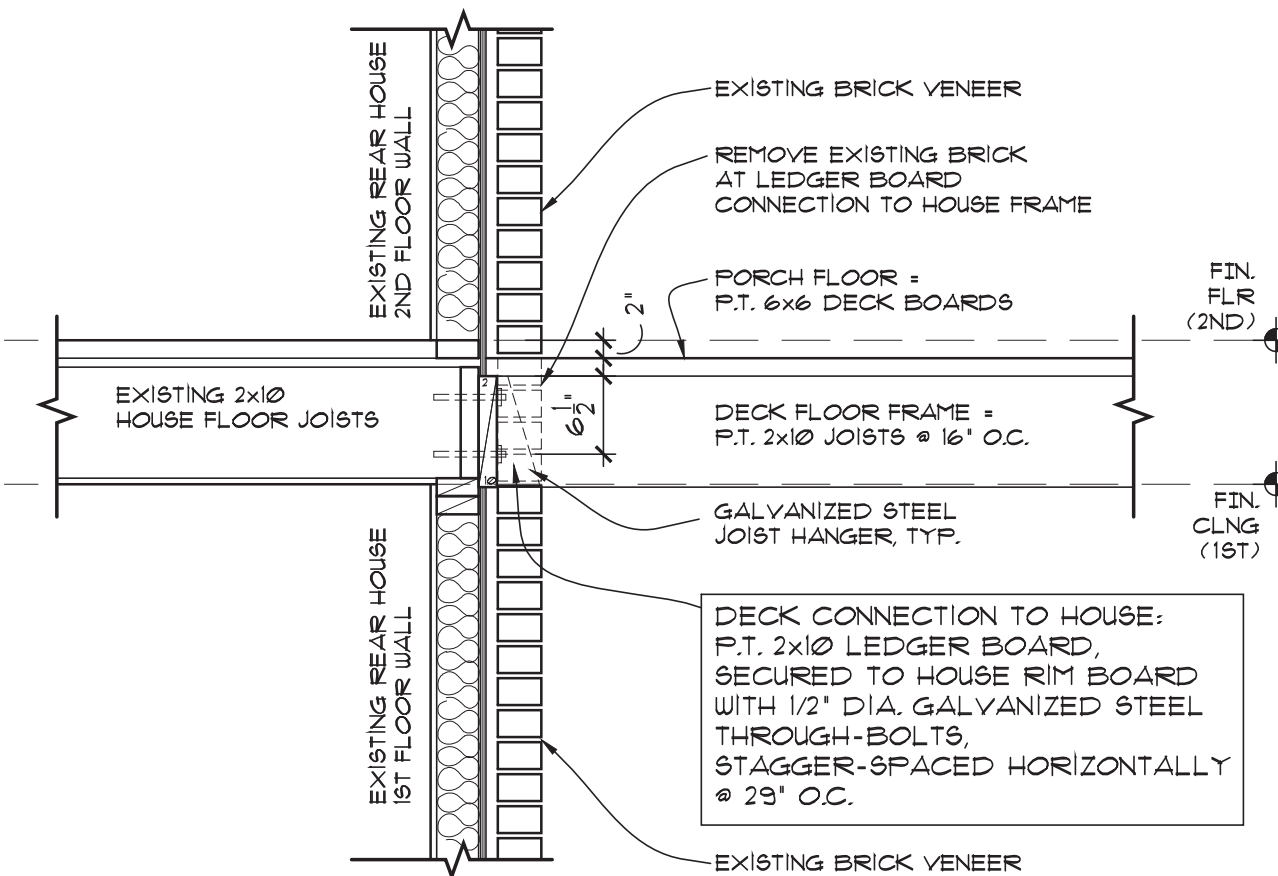
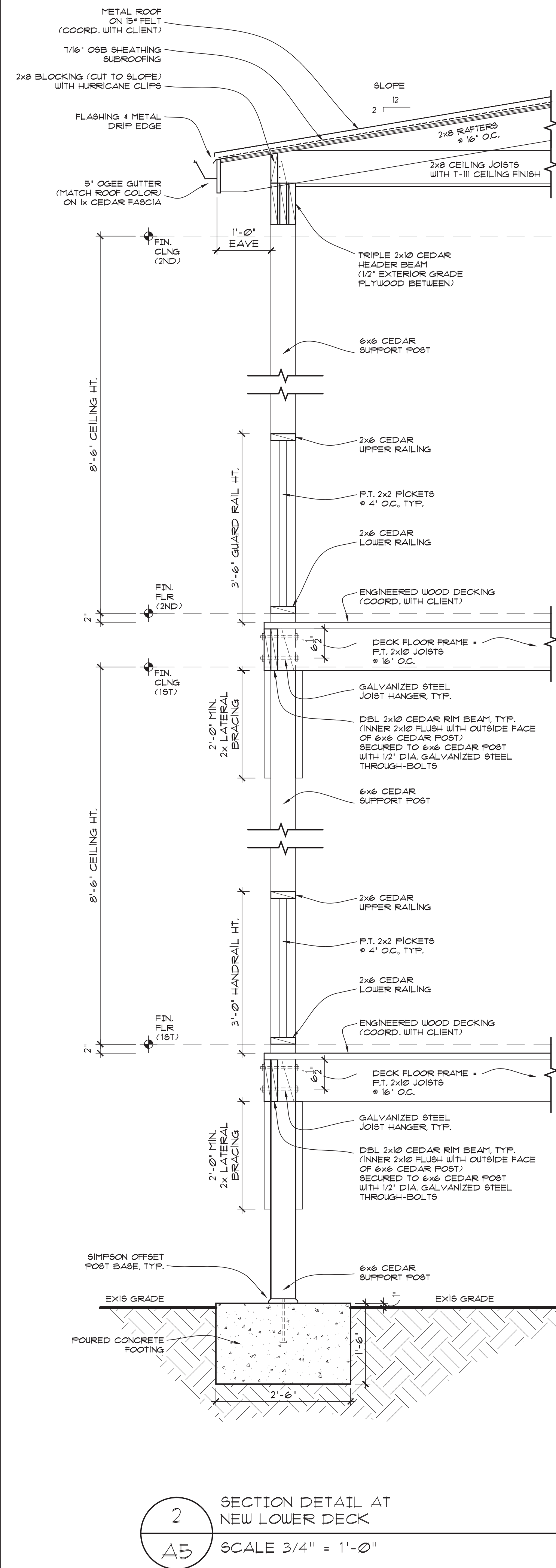
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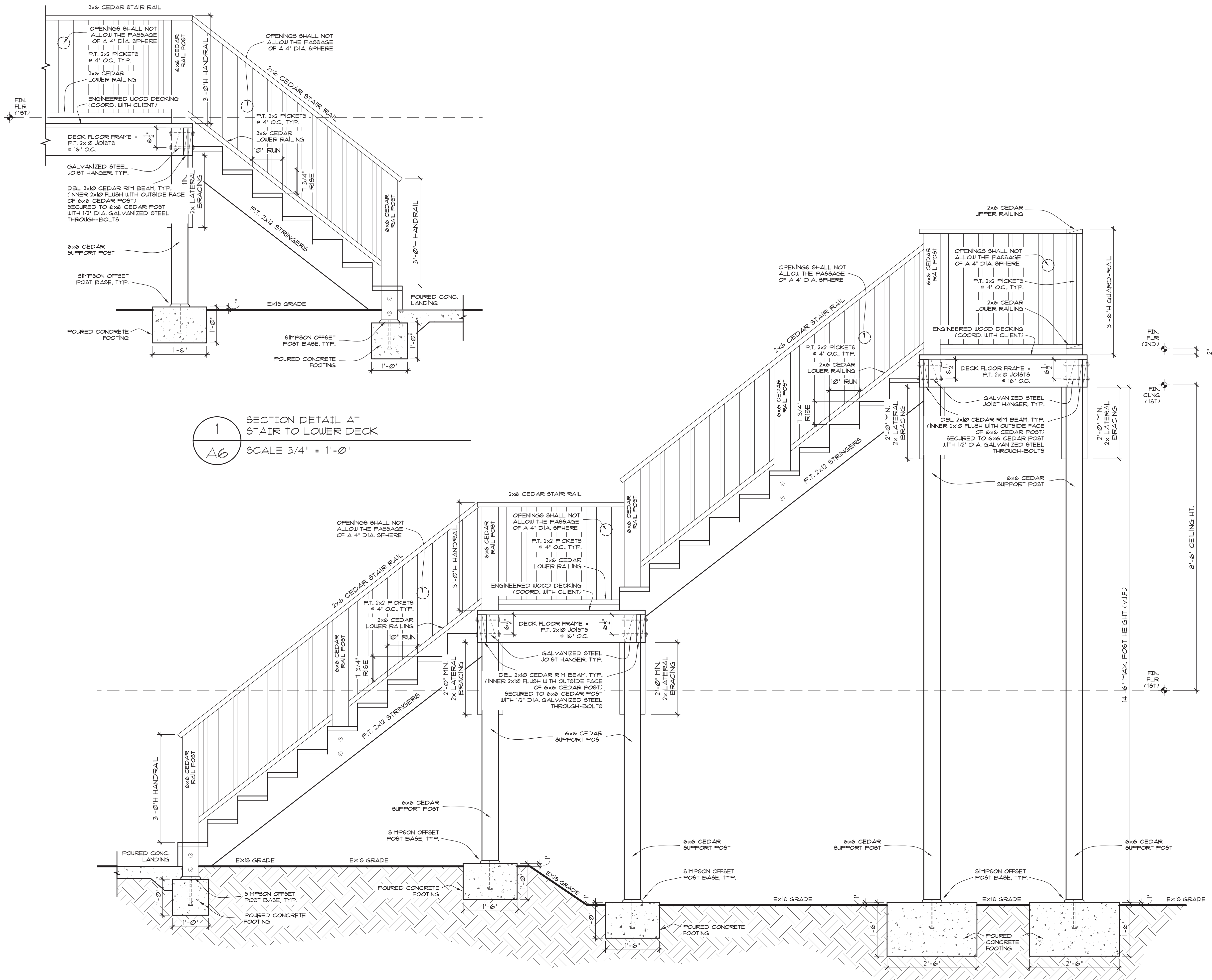
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SHEET NUMBER  
**A5**





1 SECTION DETAIL AT STAIR TO LOWER DECK  
 SCALE 3/4" = 1'-0"

2 SECTION DETAIL AT STAIR TO UPPER DECK  
 SCALE 3/4" = 1'-0"

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**A6**



**FOUNDATION:**

- FOUNDATIONS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF. THIS VALUE SHALL BE VERIFIED BY A REGISTERED SOIL ENGINEER PRIOR TO FOUNDATION CONSTRUCTION. IF ACTUAL VALUES VARY BY MORE THAN TEN PERCENT FROM DESIGN BEARING PRESSURE, FOOTINGS SHALL BE REDESIGNED. ALL FOOTINGS ARE TO BE PLACED ON UNDISTURBED ORIGINAL SOIL OR COMPACTED FILL.
- ALL BACKFILLING SHALL BE ACCOMPLISHED USING MATERIAL CONSISTING OF CRUSHED STONE AND/OR MATERIAL APPROVED BY A REGISTERED SOILS ENGINEER. FILL MATERIAL TAKEN FROM SITE EXCAVATION SHALL HAVE OPTIMUM MOISTURE CONTENT FOR COMPACTION AND BE FREE OF ANY DEBRIS. BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DENSITY AS DETERMINED BY ASTM D698, IN MAXIMUM LIFTS OF EIGHT INCHES. NO BACKFILL MATERIAL SHALL BE PLACED AGAINST WALLS WITHOUT PROVISIONS FOR ADEQUATE BRACING OF THESE WALLS.
- FILL MATERIAL SHALL BE ADEQUATELY DRAINED TO PREVENT ANY DAMAGE TO THE BUILDING'S FOUNDATION BY GROUND WATER FLOWS OR SURFACE WATER RUN-OFF.
- REMOVE ORGANIC MATERIALS AND LARGE ROCKS AND PROVIDE TERMITES TREATMENT PRIOR TO PLACING VAPOR BARRIER AND CONCRETE SLABS.
- ALL SOIL CONDITIONS ARE SUBJECT TO EVALUATION BY A SOILS ENGINEER PRIOR TO FOUNDATION CONSTRUCTION. SOILS WITHOUT ADEQUATE CAPACITY TO SUPPORT DESIGN LOADS MUST BE REPLACED OR MODIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION.
- ALL VAPOR BARRIERS TO BE 6 MIL. POLYETHYLENE SHEETING UNLESS NOTED OTHERWISE.
- ALL WIRE MESH AND REBARS ARE TO BE PLACED ON SUPPORTS PER ACI STANDARDS PRIOR TO POURING CONCRETE.
- SEE ARCHITECTURAL DRAWINGS FOR CONCRETE FINISHING REQUIREMENT

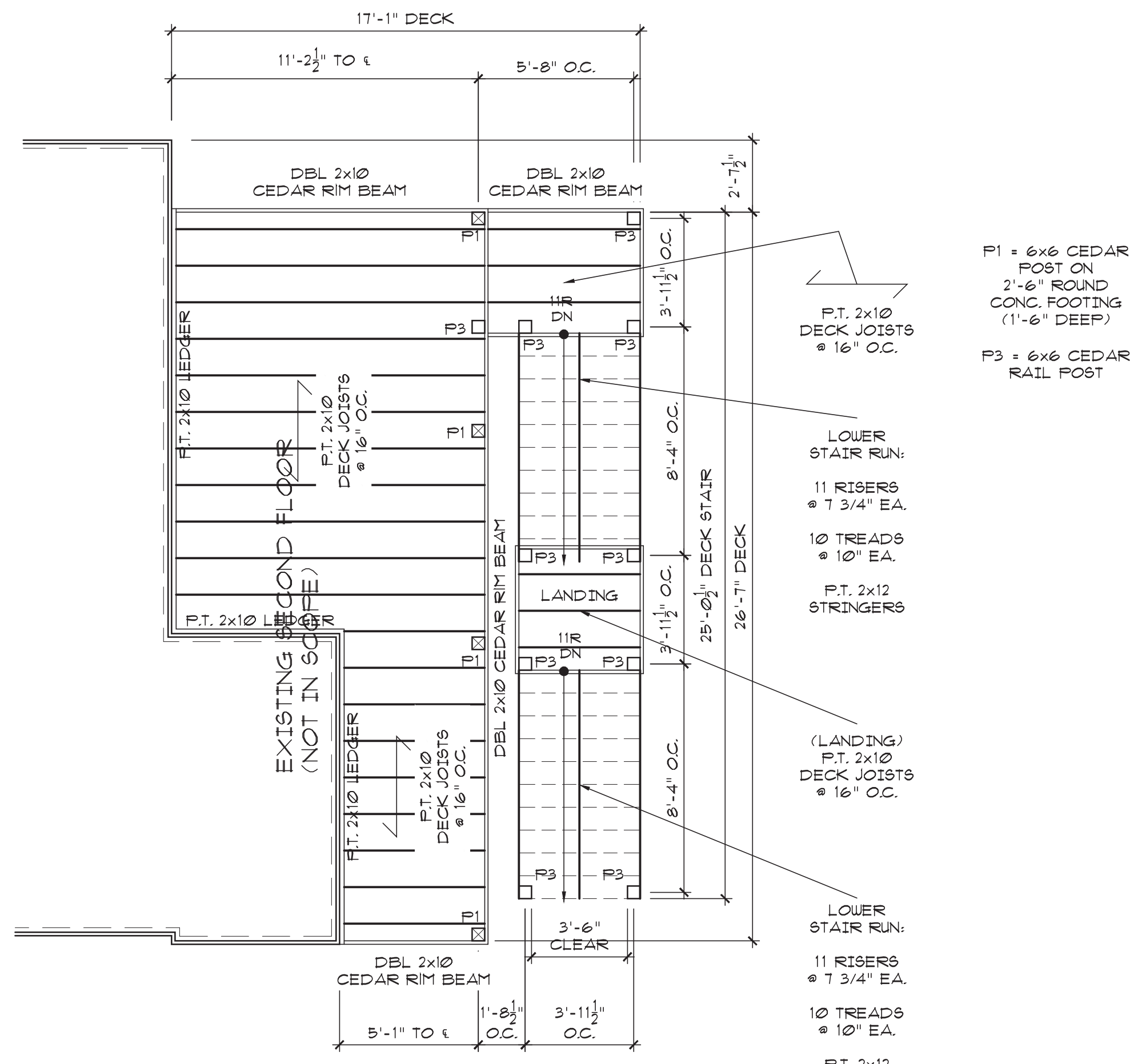
**CONCRETE:**

- CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301, "SPECIFICATION FOR STRUCTURAL CONCRETE", EXCEPT AS NOTIFIED BY THE REQUIREMENTS OF THESE STRUCTURAL DRAWINGS.
- CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A DESIGNATED COMPRESSIVE STRENGTH (F<sub>c</sub>) IN 28 DAYS OF 3000 PSI WITH A 4" (±1) SLUMP UNLESS NOTED OTHERWISE.
- SAWN CONTROL JOINTS IN FLOOR SLABS, AS INDICATED ON THE PLANS BY "C.J.", SHALL BE 1/8" WIDE x 1" DEEP AND SHOULD BE CUT (AS SOON AS CONDITIONS ALLOW) WITHIN 12 HOURS AFTER CONCRETE IS PLACED. MAXIMUM "C.J." SPACING SHALL BE 15 FT IN EITHER DIRECTION.
- SLAB-ON-GRADE NOT OTHERWISE SPECIFIED, SHALL BE 4" THICK MINIMUM WITH 6x6-W2.5xW2.9 WELDED WIRE FABRIC PLACED 1" FROM TOP OF SLAB. SLAB SHALL BE PLACED ON 6-MIL VAPOR BARRIER ON 4" OF #57 STONE OR COMPACTED SAND OR CRUSHER RUN. VAPOR BARRIER MAY BE OMITTED FROM DRIVES, WALKS, PATIOS, AND OTHER FLAT WORK NOT LIKELY TO BE ENCLOSED AND HEATED AT A LATER DATE. JOINTS LAPPED NOT LESS THAN 6".
- CONCRETE COARSE AGGREGATE, WITH A MAXIMUM SIZE OF 1" MAY BE USED IN FOUNDATIONS. ALL OTHER CONCRETE SHALL HAVE A COARSE AGGREGATE WITH A MAXIMUM SIZE OF 3/4".
- CONCRETE MIXING, TRANSPORTING, PLACING, AND CURING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF ACI 301. READY-MIXED CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH REQUIREMENTS OF ASTM C94 OR ASTM C885.
- SAMPLES FOR STRENGTH TESTS SHALL BE TAKEN IN ACCORDANCE WITH ASTM C172. SAMPLES FOR STRENGTH TESTS OF EACH CLASS OF CONCRETE PLACED EACH DAY SHALL BE TAKEN NOT LESS THAN ONCE A DAY, NOR LESS THAN ONCE FOR EACH 150 CU YD OF CONCRETE NOR LESS THAN ONCE FOR EACH 5,000 SQ FT OF SURFACE AREA FOR SLABS OR WALLS. A STRENGTH TEST SHALL BE THE AVERAGE OF THE STRENGTHS OF TWO CYLINDERS MADE FROM THE SAME SAMPLE OF CONCRETE AND TESTED AT 28 DAYS OR AT THE TEST AGE DESIGNATED FOR DETERMINATION OF F<sub>c</sub>.

- CYLINDERS FOR STRENGTH TESTS SHALL BE MOLDED AND LABORATORY CURED IN ACCORDANCE WITH ASTM C31 AND TESTED IN ACCORDANCE WITH ASTM C39.
- NO CONSTRUCTION LOADS SHALL BE SUPPORTED ON, NOR ANY SHORING REMOVED FROM, ANY PART OF THE STRUCTURE UNDER CONSTRUCTION EXCEPT WHEN THAT PORTION OF THE STRUCTURE IN COMBINATION WITH REMAINING FORMING AND SHORING SYSTEM HAS SUFFICIENT STRENGTH TO SUPPORT SAFELY ITS WEIGHT AND LOADS PLACED THEREON.
- BEAMS, GIRDERS, HAUNCHES, DROP PANELS, AND CAPITALS SHALL BE PLACED MONOLITHICALLY AS PART OF A SLAB SYSTEM UNLESS OTHERWISE SHOWN IN THE DRAWINGS OR SPECIFICATIONS.
- BEAMS, GIRDERS, OR SLABS SUPPORTED BY COLUMNS OR WALLS SHALL NOT BE CAST OR ERECTED UNTIL CONCRETE IN THE VERTICAL SUPPORT MEMBERS IS NO LONGER PLASTIC.
- THE CLEAR DISTANCE BETWEEN REINFORCING BARS, BUNDLED BARS, PRE-STRESSING TENDONS, AND DUCTS SHALL BE IN ACCORDANCE WITH THE LIMITATIONS OF ACI 318.
- ALL EQUIPMENT FOR MIXING AND TRANSPORTING CONCRETE SHALL BE CLEAN. ALL DEBRIS, WATER AND ICE SHALL BE REMOVED PRIOR TO PLACING CONCRETE. FORMS SHALL BE PROPERLY COATED. MASONRY FILLER UNITS THAT WILL BE IN CONTACT WITH CONCRETE SHALL BE WELL DRENCHED. REINFORCEMENT SHALL BE CLEAN OF ICE OR OTHER DELETERIOUS COATING. ALL LATHING AND OTHER UNSOUND MATERIAL SHALL BE REMOVED BEFORE ADDITIONAL CONCRETE IS PLACED AGAINST HARDENED CONCRETE.

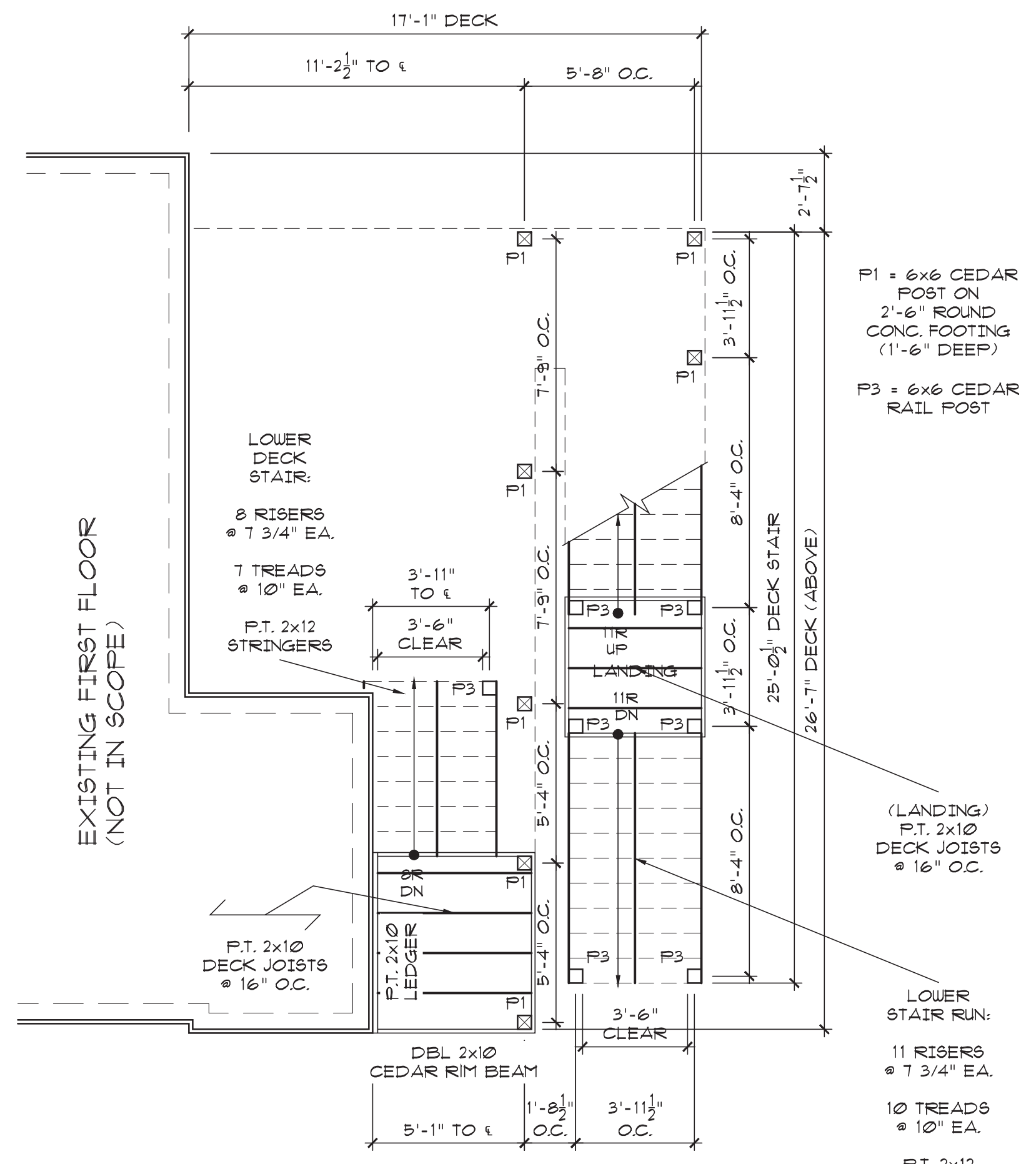
**REINFORCING:**

- CONCRETE REINFORCING STEEL SHALL COMPLY WITH THE REQUIREMENTS OF ASTM A615, GRADE 40 FOR #3 BARS AND ASTM A615, GRADE 60 FOR #4 AND LARGER BARS.
  - DETAILING OF CONCRETE REINFORCEMENT AND ACCESSORIES SHALL BE IN ACCORDANCE WITH ACI 315, LATEST EDITION.
  - REINFORCING STEEL SHALL BE SPLICED ONLY AS INDICATED ON THE PLANS. WHEN SPLICE LENGTHS ARE NOT GIVEN ON THE PLANS, THEY SHALL BE TAKEN FROM THE TABLE BELOW. USE "CLASS B" LAPS UNLESS THE PLANS INDICATE "CLASS A".
- | BAR SIZE | CLASS "A" SPLICE | CLASS "B" SPLICE |
|----------|------------------|------------------|
| #3       | 28"              | 22"              |
| #4       | 37"              | 29"              |
| #5       | 47"              | 36"              |
| #6       | 56"              | 43"              |
- ALL BAR HOOKS SHALL BE STANDARD 90-DEGREE HOOKS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
  - SEE SECTION 7.7 OF ACI 318-08 FOR CONDITIONS NOT NOTED.



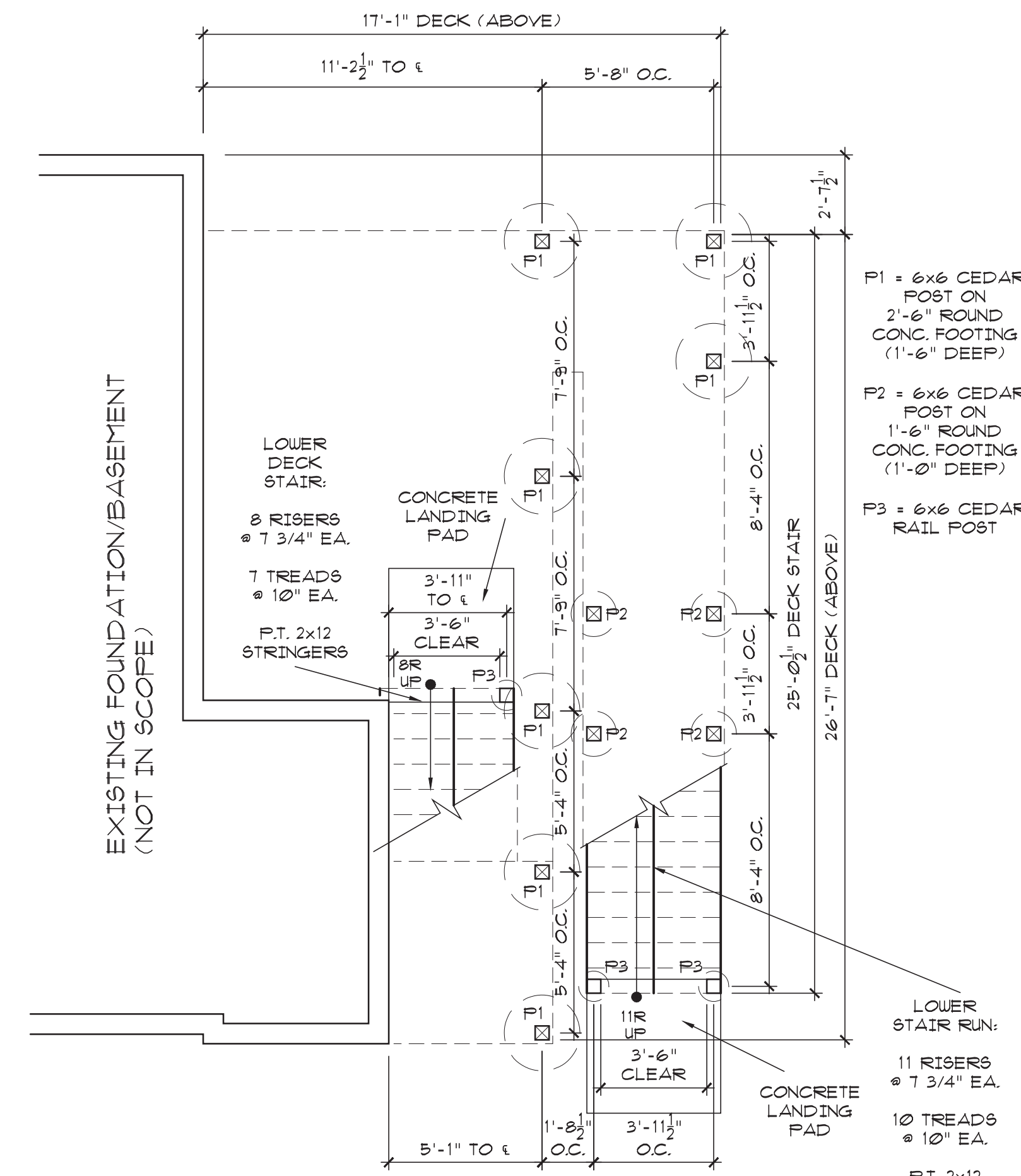
3  
S1  
FRAMING PLAN - SECOND FLOOR  
SCALE 1/4" = 1'-0"

ALL DIMENSIONS ARE TO FRAMING, U.N.O.  
ALL DIMENSIONAL LUMBER TO BE SOUTHERN PINE NO. 2, U.N.O.  
RE-TREATED WHERE NOTED.



2  
S1  
FRAMING PLAN - FIRST FLOOR  
SCALE 1/4" = 1'-0"

NOTES:  
ALL DIMENSIONS ARE TO FRAMING, U.N.O.  
ALL DIMENSIONAL LUMBER TO BE SOUTHERN PINE NO. 2, U.N.O.  
(P.T. = PRESSURE-TREATED WHERE NOTED).



1  
S1  
FRAMING PLAN - FOUNDATION  
SCALE 1/4" = 1'-0"

NOTES:  
ALL DIMENSIONS ARE TO FRAMING, U.N.O.  
ALL DIMENSIONAL LUMBER TO BE SOUTHERN PINE NO. 2, U.N.O.  
(P.T. = PRESSURE-TREATED WHERE NOTED).

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7/27/20	

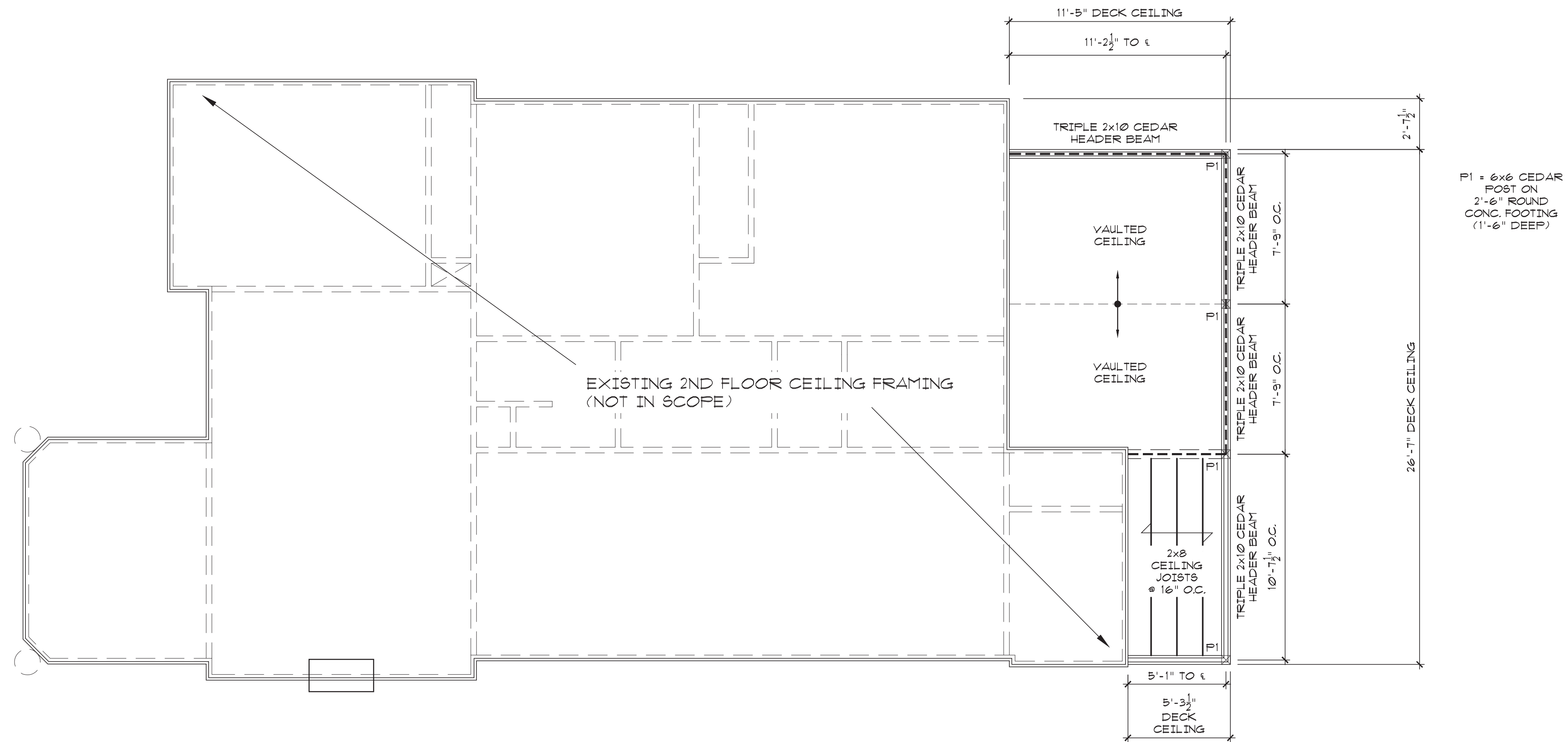
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SHEET NUMBER  
S1

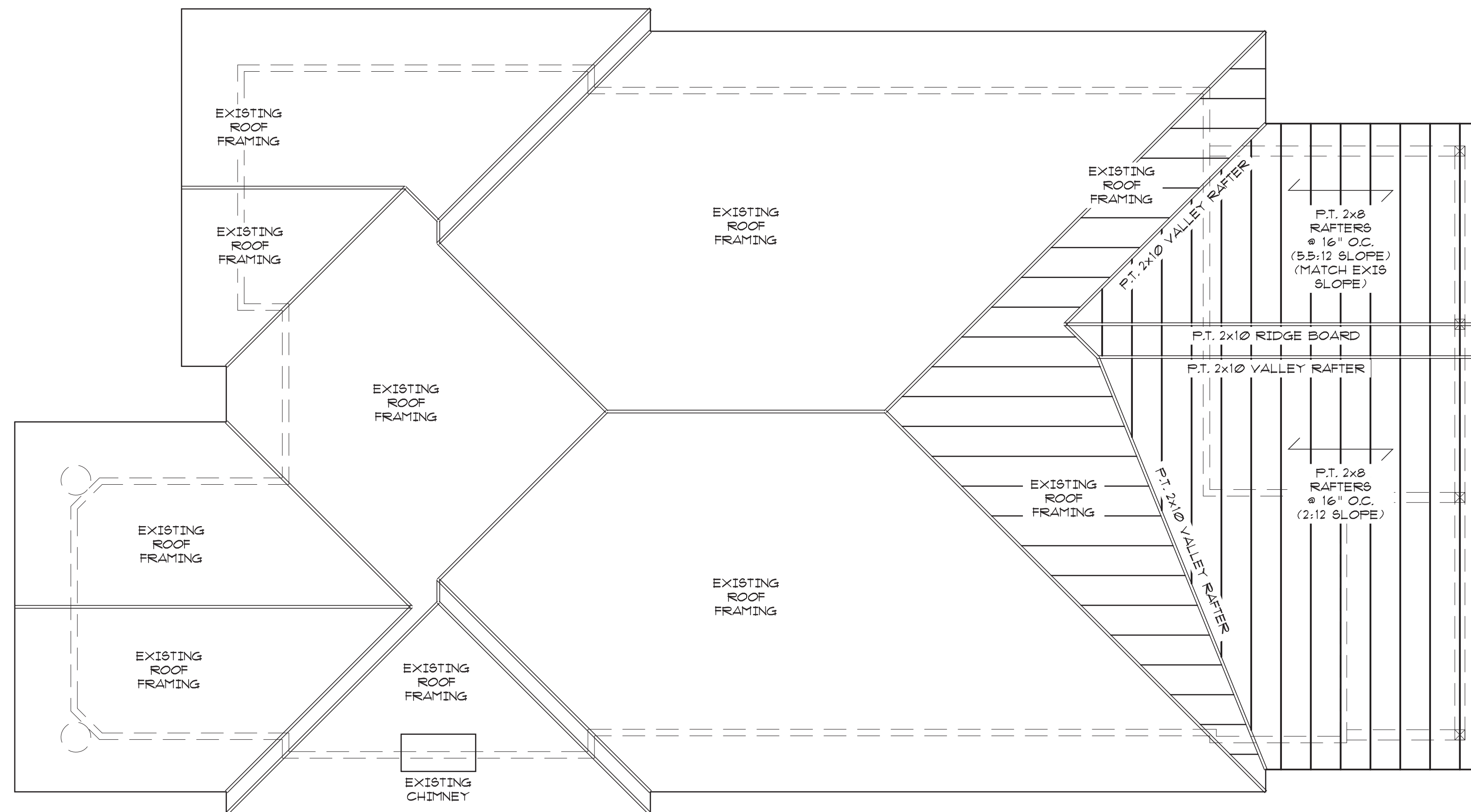




P1 = 6x6 CEDAR  
 POST ON  
 2'-6" ROUND  
 CONC. FOOTING  
 (1'-6" DEEP)

NOTES:  
 ALL DIMENSIONS ARE TO FRAMING, U.N.O.  
 ALL DIMENSIONAL LUMBER TO BE SOUTHERN PINE NO. 2, U.N.O.  
 (P.T. = PRESSURE-TREATED WHERE NOTED).

1  
 S2 FRAMING PLAN -  
 SECOND FLOOR CEILING  
 SCALE 1/4" = 1'-0"



NOTES:  
 ALL DIMENSIONS ARE TO FRAMING, U.N.O.  
 ALL DIMENSIONAL LUMBER TO BE SOUTHERN PINE NO. 2, U.N.O.  
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2  
 S2 FRAMING PLAN -  
 ROOF  
 SCALE 1/4" = 1'-0"

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SYMBOL	DESCRIPTION
1	

DATE	DESCRIPTION
7/26/20	ISSUED FOR CONSTRUCTION

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**S2**